

# Infill Housing Overlay Staff Comments & Recommendations

## RECOMMENDATION

Staff recommends approval of the project with the following conditions:

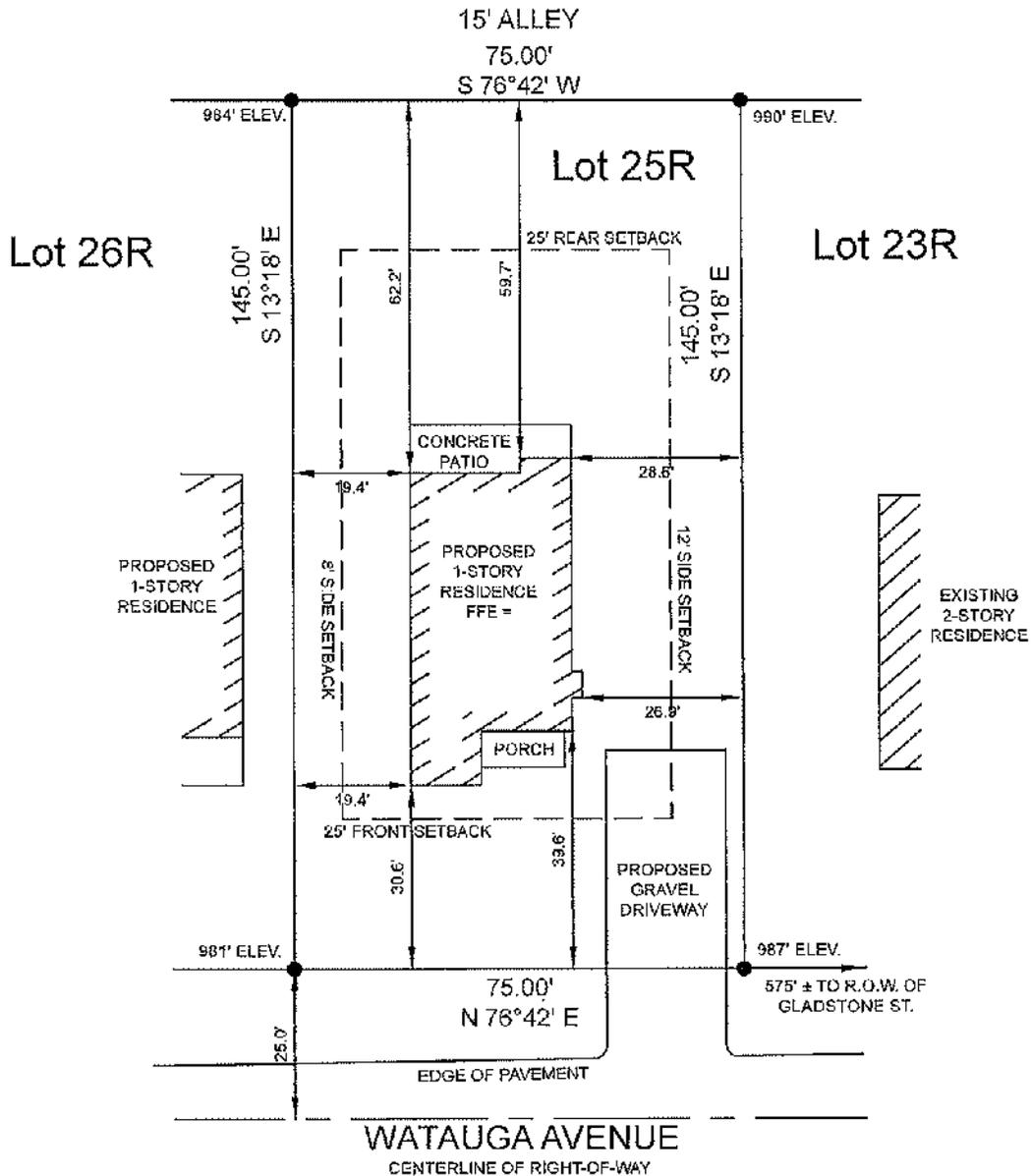
1. Access should be from the alley since it is in working condition (p. 7).
2. Driveway and parking pad shall meet City of Knoxville Engineering Department requirements.
  - a. Parking pad shall be 18 ft x 20 ft.
  - b. If using a gravel surface, a minimum of 10-15 ft of asphalt or concrete is required to be installed from the street to keep gravel off of the alley, and landscape timbers must be installed along both sides of the driveway and around the parking pad to contain the gravel.
3. Parking pad should be screened with landscaping and/or fencing (p. 7).
4. Install a walkway from the front porch to the street to be consistent with other houses on the block (p. 5).
5. Utilize lap siding versus Dutch lap or horizontal panels to more closely resemble the exterior materials historically utilized in the neighborhood (p.13).
6. Expand the porch depth to 8 ft. (p. 9).
7. Shingles should be a dark color (p. 12).
8. Retain windows on the left façade as shown on the elevations, not as shown on floor plan (p. 10).

## COMMENTS

1. The alley is developed and should provide access. However, the alley sits 2-3 ft higher than the rear lot line and would require infill to function properly. The Committee may wish to consider the option to allow driveway access off of Watauga Avenue. However, to make this allowance, staff would recommend the parking pad should still be at the rear of the lot, so the driveway would need to extend past the house from the front to the back.
2. Proposed front and side setbacks are consistent with other houses on the street. The adjacent property to the west is set back 40 ft, while the front porch is set back 30 ft from the property line.
3. Neighboring houses each feature a walkway connecting the front porch or stoop to the street.
4. Lap siding more closely resembles the exterior materials historically utilized in the neighborhood.
5. The proposed deletion of three windows on the left façade of the house creates a very high solid-to-void ratio. Retaining these windows allows more natural light to penetrate the interior and keeps the ratio more balanced.
6. The porch is of appropriate materials and is consistent with other porch styles and sizes on the street. However, the Infill Guidelines recommend an 8-ft porch depth.
7. The carport is noted as being optional in the building plans and would not be built.
8. The back porch would be open-air, not screened in as drawn.

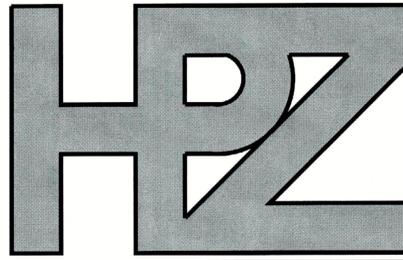


# SITE PLAN



820 WATAUGA AVENUE LOT 25R - LINCOLN PARK RESUB. - BLOCK 5 PLAT 201912100039586 DIST: 7, WARD 18, CITY OF KNOXVILLE, KNOX COUNTY			OWNER/BUILDER - GARY KOONTZ SITE PLAN - JACOBS DIMENSIONS LLC		
JOB# 20200104	DRAWN: JJP	0129/2020	SCALE: 1" = 30'	BEARINGS AND DISTANCES ARE PER PLAT	

THIS SITE PLAN DOES NOT CONSTITUTE AN OFFICIAL PLAT OR BOUNDARY SURVEY. LOT DIMENSIONS ARE PER PLAT REFERENCED HEREIN. ELEVATIONS ARE PER KGIS ORC TOPOGRAPHICAL DATA.



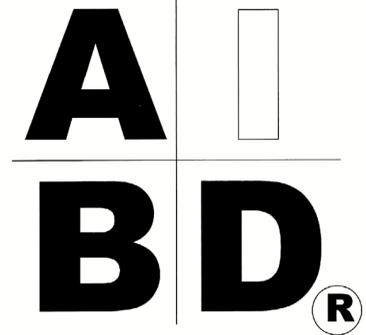
House Plan Zone, LLC

# House Plan Zone, LLC.

www.HPZplans.com

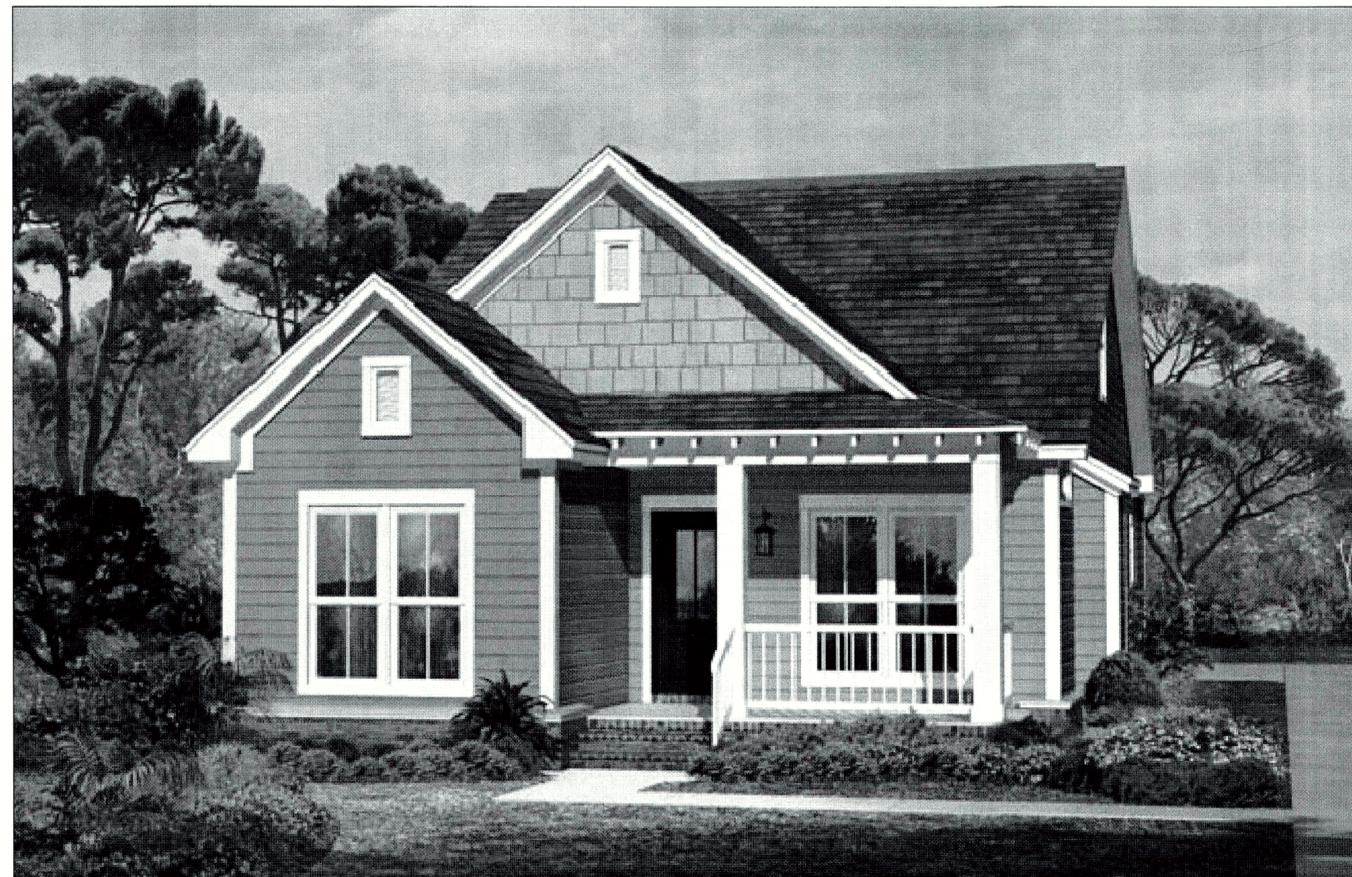
Email: HPZplans@comcast.net

Fax: 1-800-574-1387



## STANDARD ABBREVIATIONS

@	AT	JT.	JOINT
#	POUND(S)	JST.	JOIST
		JSTS.	JOISTS
APPROX.	APPROXIMATELY	LT.	LIGHT
		LIN.	LINEN
BASE.	BASEMENT	MANUF.	MANUFACTURER
BT.	BETWEEN	MAS.	MASONRY
BLK.	BLOCK	MAX.	MAXIMUM
BLK'G.	BLOCKING	MTL.	METAL
BD.	BOARD	MIN.	MINIMUM
BRD.	BOARD	N.I.C.	NOT IN CONTRACT
BOT.	BOTTOM	O.C.	ON CENTER
BLDG.	BUILDING	O/C.	ON CENTER
		OPT.	OPTIONAL
CAB.	CABINET	O.S.B.	ORIENTED STRAND BOARD
CLG.	CEILING	OTS.	OWNER TO SELECT
CLR.	CLEAR	O.T.S.	OWNER TO SELECT
CLOS.	CLOSET		
COL.	COLUMN	PG.	PAGE
COLS.	COLUMNS	PAN.	PANTRY
CONC.	CONCRETE	PL.	PLATE
CMU.	CONCRETE MASONRY UNIT	P.	PLATE
C.U.	CONDENSOR UNIT	PLYND	PLYWOOD
CONN.	CONNECTION	PLYND	PLYWOOD
CONT.	CONTINUOUS	POLY.	POLYETHYLENE
COVER'G.	COVERING	PSI	POUNDS PER SQUARE INCH
CS.	CRACK SPACE	PRE-FAB	PREFABRICATED
DECO.	DECORATIVE	RE.	REFERENCE
DET.	DETAIL	REF.	REFRIGERATOR
DIA.	DIAMETER	REINF.	REINFORCED
DW.	DISHWASHER	R	RESISTANCE
DBL.	DOUBLE	R.A.	RETURN AIR
DF.	DOUGLAS FIR	R.A.G.	RETURN AIR GRILLE
D.	DRYER	REQD.	REQUIRED
EA.	EACH	SCR.	SCREEN
ELEV.	ELEVATION	SHLV.S.	SHELVES
ENG.	ENGINEER	SHR.	SHOWER
		SHWR.	SHOWER
FT.	FEET	SST.	SIMPSON STRONG TIE
F.F.L.	FINISHED FLOOR LINE	SP.	SOUTHERN PINE
FIN.	FINISH	SPECS.	SPECIFICATIONS
F.C.	FIRE CODE	SQ.	SQUARE
FLR.	FLOOR	S.F.	SQUARE FOOTAGE
FTG.	FOOTING	STL.	STEEL
FOUND.	FOUNDATION	THK.	THICK
FND.	FOUNDATION	THK.	THICKNESS
FR.	FREEZER	TBD.	TO BE DETERMINED
		TR.	TRANSOM
GA.	GAUGE	TYP.	TYPICAL
GALV.	GALVANIZED	U.T.C.	UNDER THE COUNTER
GYP.	GYPSPUM	UTIL.	UTILITY
HDR.	HEADER	VAN.	VANITY
HVAC.	HEATING, VENTILATION & AIR CONDITIONING	VERT.	VERTICAL
HT.	HEIGHT		
HTS.	HEIGHTS	WH.	WATER HEATER
HORIZ.	HORIZONTAL	W.	WASHER
		WT.	WEIGHT
IN.	INCHES	WIN.	WINDOW
INCL.	INCLUDE	W.M.	WIRE MESH
INSUL.	INSULATION	W.	WIRE
		WD.	WOOD
		WFCM	WOOD FRAME CONSTRUCTION MANUAL



# BB-1300

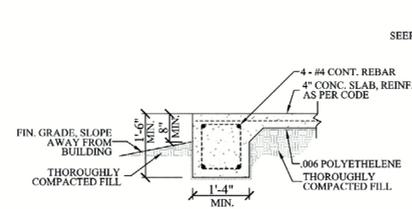
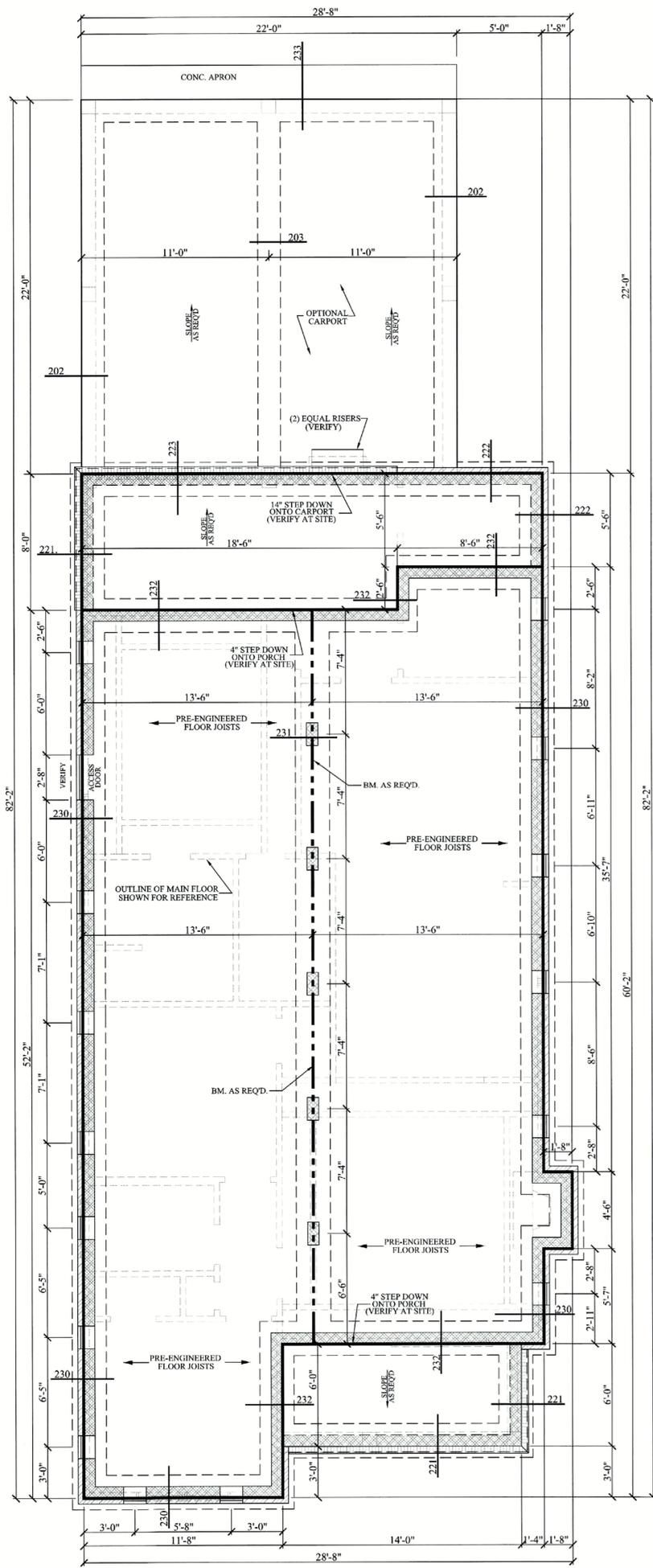
## SHEET INDEX:

- 1 COVER SHEET
- 2 FOUNDATION PLAN
- 3 FLOOR PLAN & ELECTRICAL PLAN
- 4 EXTERIOR ELEVATIONS
- 5 ROOF PLANS
- 6 CROSS SECTION & CABINETS

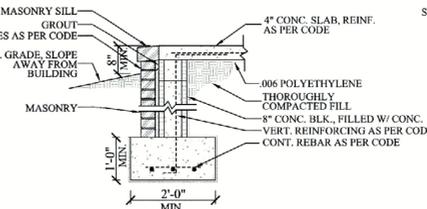
Date: 05/02/07  
 Drawn By: J.L.B.

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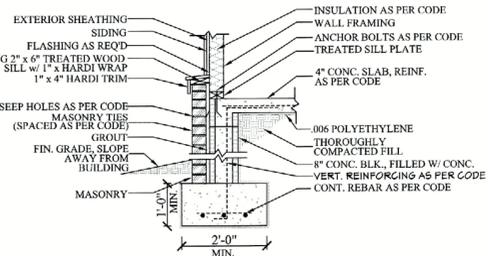
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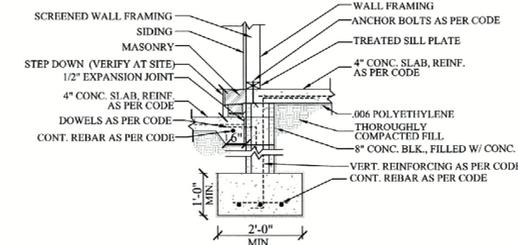
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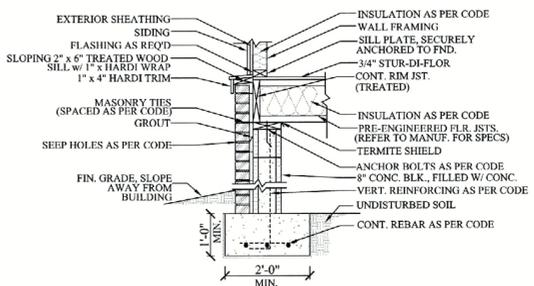
201 FTG. DET.



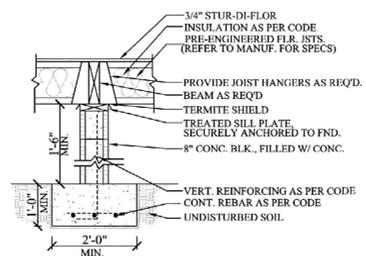
222 FTG. DET.



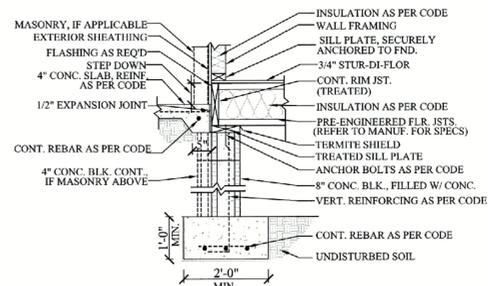
223 FTG. DET.



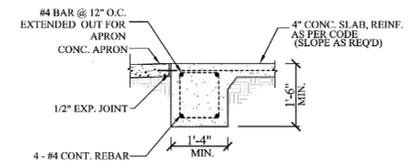
230 FTG. DET.



231 FTG. DET.



232 FTG. DET.



233 FTG. DET.

- CRAWL SPACE FOUNDATION NOTES:**
1. ALL FOOTING SIZES AND LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER.
  2. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
  3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH FLOOR PLAN PRIOR TO CONSTRUCTION AND MAKE ANY NECESSARY ADJUSTMENTS.
  4. CONTRACTOR TO PROVIDE WATERPROOFING AS REQ'D TO MEET ALL APPLICABLE CODES AND TYPICAL BUILDING PRACTICES.
  5. CONCRETE SLABS TO BE 4" (3000 psi MIN.), REINFORCED AS PER CODE OR AS DETERMINED BY LICENSED ENGINEER.
  6. CONTRACTOR TO PROVIDE ADEQUATE DRAINAGE BASED ON EXISTING SITE CONDITIONS. VERIFY w/LOCAL CODES.
  7. REFER TO FLOOR JOIST MANUFACTURER FOR JOIST SIZING AND SPACING, CROSS BRACING REQUIREMENTS, AND BEAM SIZES.
  8. VERIFY THE QUANTITY AND LOCATION OF BRICK VENTS WITH ALL APPLICABLE CODES AT SITE.

NOTE: PRE-ENGINEERED FLOOR JOISTS ARE SHOWN. REFER TO FLOOR JOIST MANUFACTURER FOR JOIST SIZING, SPACING, CROSS BRACING REQUIREMENTS, AND BEAM SIZES.

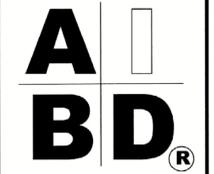
201 **FOUNDATION PLAN**  
SCALE-----1/4" = 1'-0"



House Plan Zone, LLC

House Plan Zone, LLC.  
Email: HPZplans@comcast.net  
Fax: 1-800-574-1387

House Plan Zone, LLC has exercised great care and effort in the development of these plans and the completion of these construction documents. However, due to the great variance in building codes and site specific conditions, House Plan Zone, LLC assumes no responsibility for any damages, including structural failures, resulting from errors, omissions or deficiencies in the design. In addition to your local building officials prior to construction. Additional engineering may be required to comply to seismic, wind and other special conditions required by local building codes. All dimensions to be verified on site prior to construction. Foundation plan shall be verified by a licensed engineer prior to construction.



Plan ID:

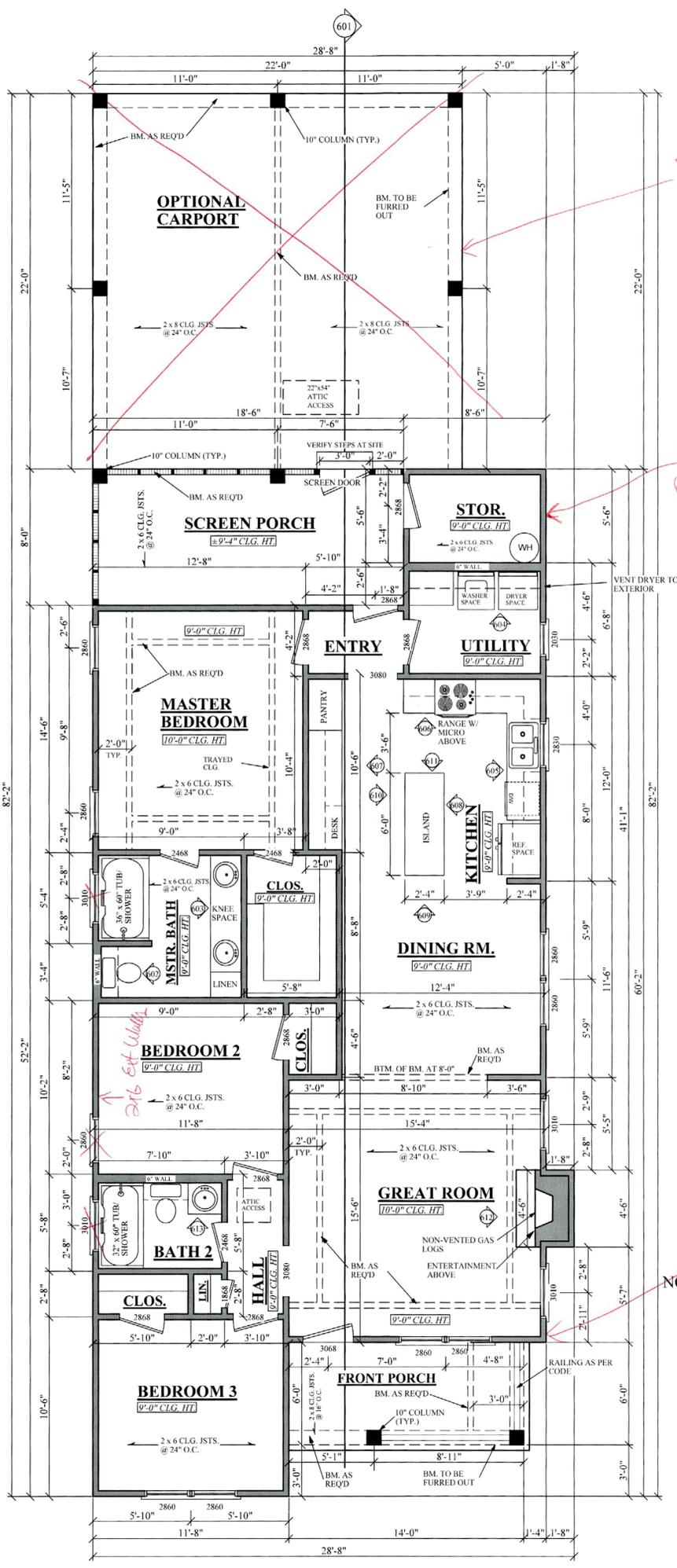
**BB-1300**

Date: 05/02/07

Drawn By: C.T.B.

SHEET NUMBER

**2**



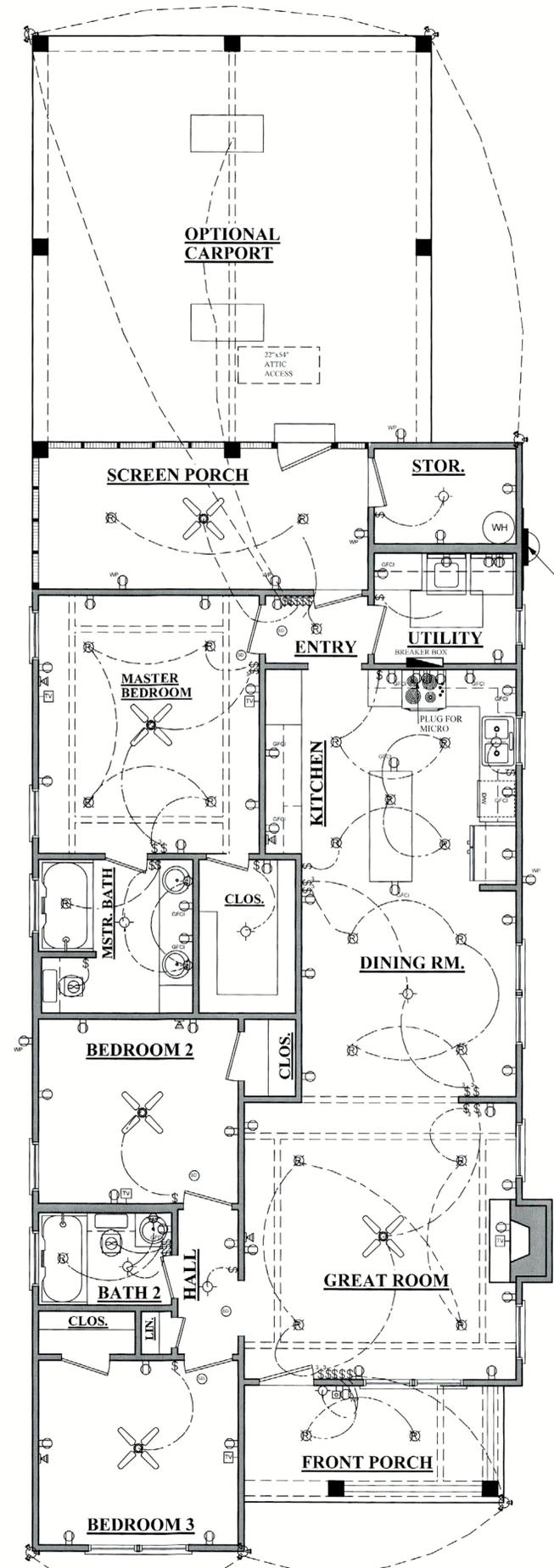
- NOTES:**
1. ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
  2. ALL FINISHES (INTERIOR & EXTERIOR) TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
  3. VERIFY ALL DOOR AND WINDOW STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL ROUGH OPENING SIZES.
  4. CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL, PRIOR TO CONSTRUCTION.
  5. THESE PLANS WERE DESIGNED TO MEET NATIONAL CODES AT THE TIME THEY WERE DRAWN. CONTRACTOR MUST ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE AT THE CURRENT TIME.
  6. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
  7. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THEN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. IRC 2003, R312.1
  8. PORCHES AND DECKS WHICH ARE ENCLOSED WITH INSECT SCREENING SHALL BE PROVIDED WITH GUARDS WHERE THE WALKING SURFACE IS LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW. IRC 2003, R312.1
  9. APPLIANCES IN ATTICS. ATTICS CONTAINING APPLIANCES REQUIRING ACCESS SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES LONG AND 22 INCHES WIDE AND NOT MORE THAN 20 FEET IN LENGTH WHEN MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH IRC 2003 CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, WHERE SUCH DIMENSIONS ARE LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE. EXCEPTION: THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE IS CAPABLE OF BEING SERVICED AND REMOVED THROUGH THE REQUIRED OPENING. IRC 2003, M1305.1.3
  10. ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER IRC 2003 R310.1.1.
  11. ALL RETURN AIR GRILLS ARE NOT TO BE LOCATED WITHIN 10 FEET OF ANY COMBUSTIBLE APPLIANCES.
  12. ALL SQUARE FOOTAGE MEASUREMENTS ARE APPROXIMATE AND MAY DIFFER FROM ACTUAL CONSTRUCTED RESIDENCE OR BUILDING.

NOTE: HVAC UNIT TO BE LOCATED IN ATTIC SPACE ABOVE.

**FLOOR PLAN**

SCALE: 1/4" = 1'-0"

AREAS:	S.F. HEATED
1300	S.F. HEATED
148	S.F. UNHEATED - SCREEN PORCH
47	S.F. UNHEATED - STORAGE
84	S.F. UNHEATED - FRONT PORCH
279	S.F. UNHEATED - TOTAL
1579	S.F. TOTAL
484	S.F. OPTIONAL CARPORT



**ELECTRICAL PLAN**



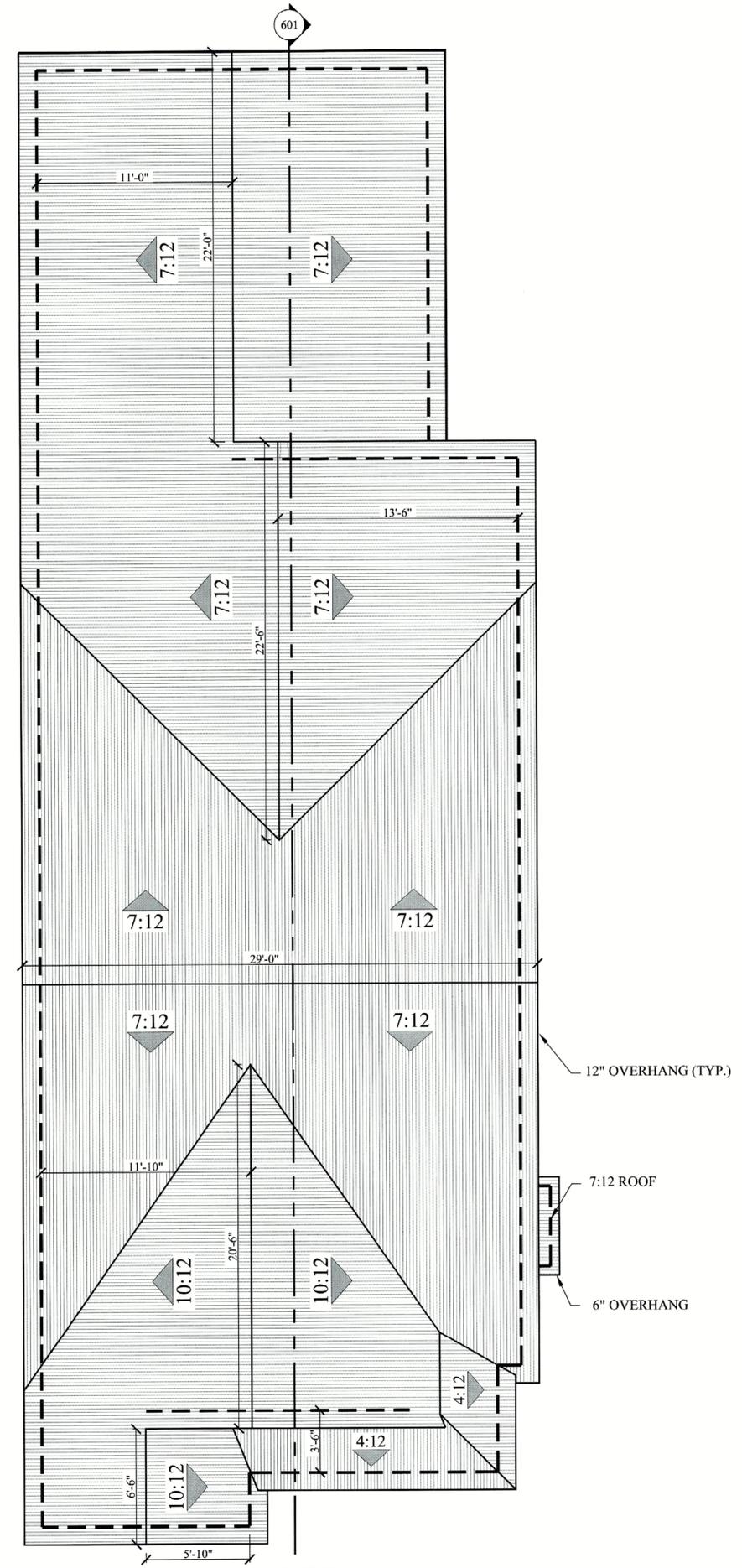
**RAFTER SPANS**

TABLE R802.5.1(5) IRC 2003

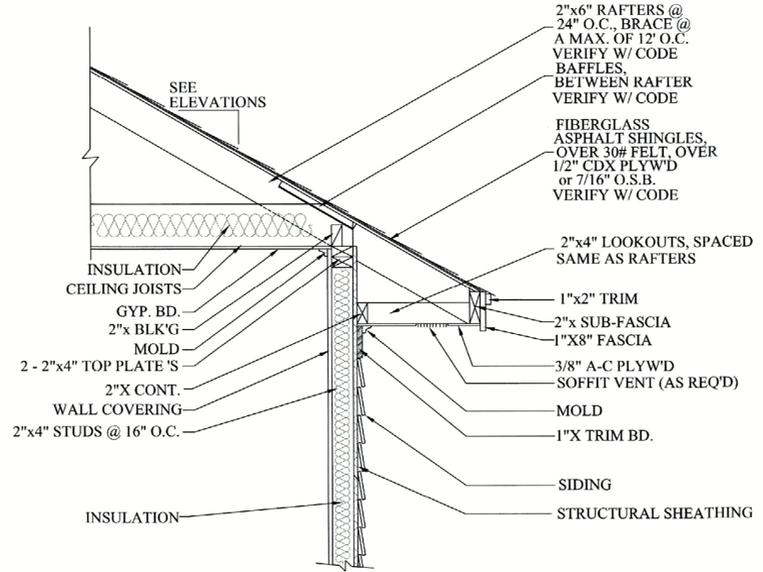
RAFTER SPANS FOR SOUTHERN PINE SPECIES  
 (GROUND SNOW LOAD=30psf, CEILING ATTACHED TO RAFTERS, L/Δ=240) DEAD LOAD = 10psf

SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT. - IN.)
2 x 4	12.0	8-7
	16.0	7-10
	19.2	7-4
	24.0	6-10
2 x 6	12.0	13-6
	16.0	12-3
	19.2	11-5
	24.0	10-2
2 x 8	12.0	17-10
	16.0	16-2
	19.2	14-9
	24.0	13-2
2 x 10	12.0	22-3
	16.0	19-3
	19.2	17-7
	24.0	15-9
2 x 12	12.0	XXXXX
	16.0	22-7
	19.2	20-7
	24.0	18-5

REFER TO IRC 2003 OR APPLICABLE CODE FOR ADDITIONAL INFORMATION.



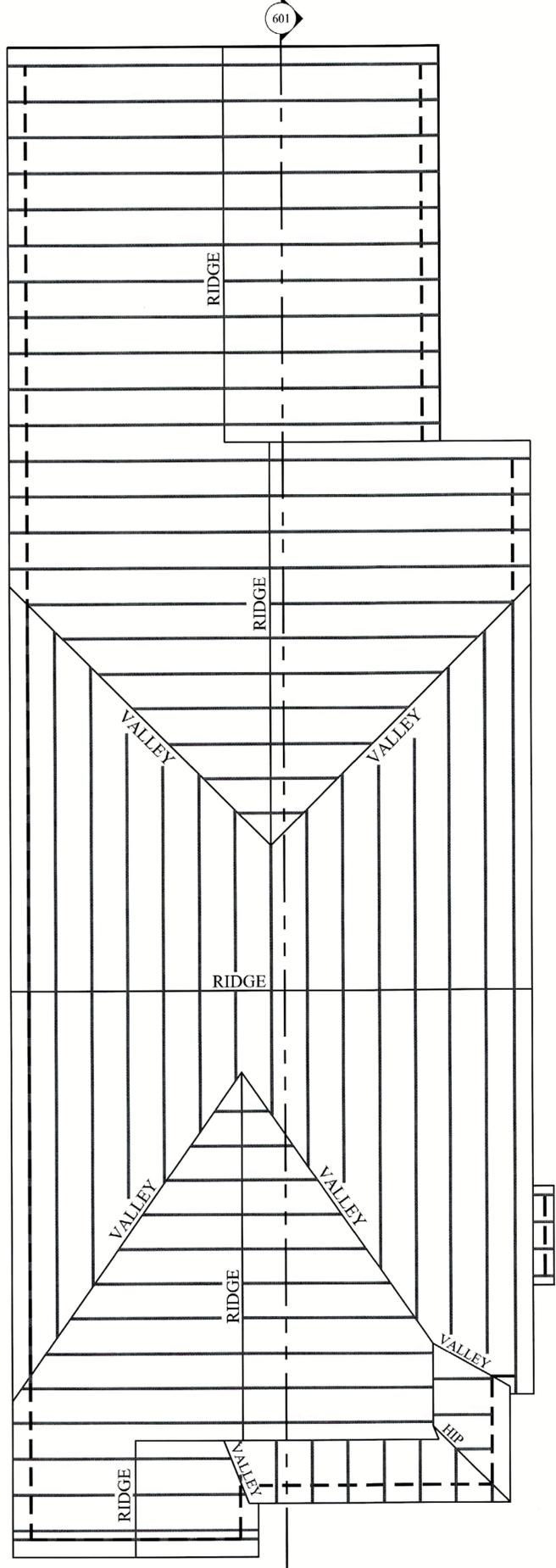
**501 ROOF PLAN**  
 SCALE-----1/4"=1'-0"



**503 TYP. CORNICE DETAIL**  
 SCALE-----3/4"=1'-0"

**ROOF PLAN NOTES:**

1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" X 10", No.2 S.Y.P. OR AS REQ'D BY ENGINEER.
3. ALL RAFTERS TO BE SIZED AS PER SPAN CHART.
4. REFER TO EXTERIOR ELEVATION FOR OVERHANG LENGTHS.
5. CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
6. CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.



**502 ROOF FRAMING PLAN**  
 SCALE-----1/4"=1'-0"



House Plan Zone, LLC

House Plan Zone, LLC. Email: HPZplans@comcast.net

House Plan Zone, LLC has exercised great care and effort in the development of these plans and the completion of these construction documents. However, due to the great variance in building codes and site specific conditions, House Plan Zone, LLC, assumes no responsibility for any damages, including structural failures resulting from the use of these plans. It is the responsibility of the contractor to verify all dimensions and conditions in the area of construction, in addition to your local building officials prior to construction. Additional engineering may be required to comply to seismic, wind and other special conditions required by local building codes. All dimensions to be verified on site prior to construction. Foundation plan shall be verified by a licensed engineer prior to construction.

A B D

Plan ID: BB-1300

Date: 05/02/07 Drawn By: C.T.B.

SHEET NUMBER

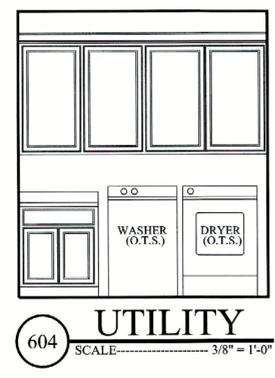
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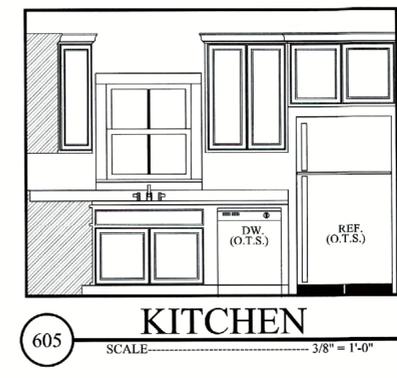
602 MSTR BATH SCALE: 3/8" = 1'-0"



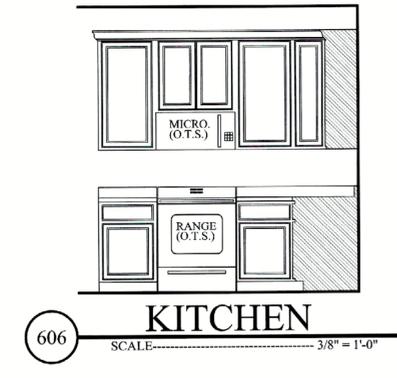
603 MSTR BATH SCALE: 3/8" = 1'-0"



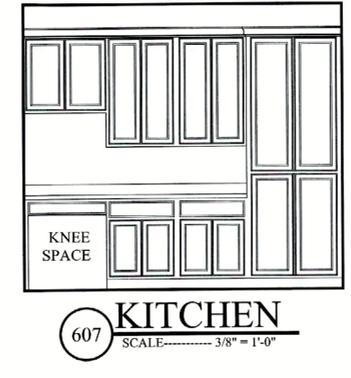
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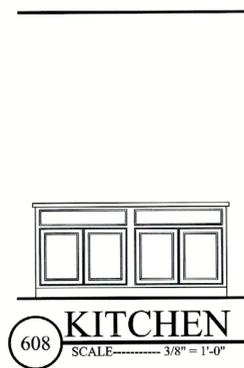
605 KITCHEN SCALE: 3/8" = 1'-0"



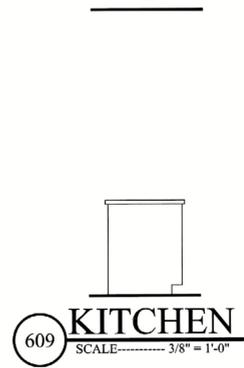
606 KITCHEN SCALE: 3/8" = 1'-0"



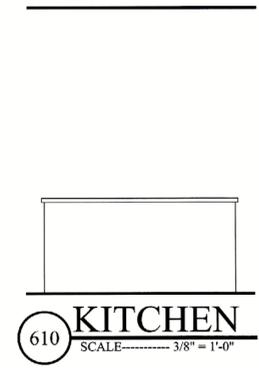
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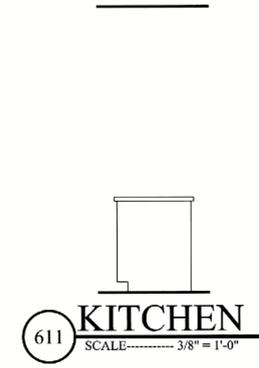
608 KITCHEN SCALE: 3/8" = 1'-0"



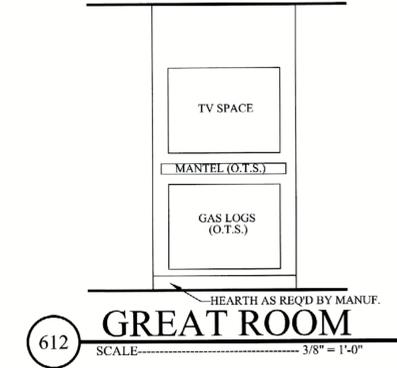
609 KITCHEN SCALE: 3/8" = 1'-0"



610 KITCHEN SCALE: 3/8" = 1'-0"



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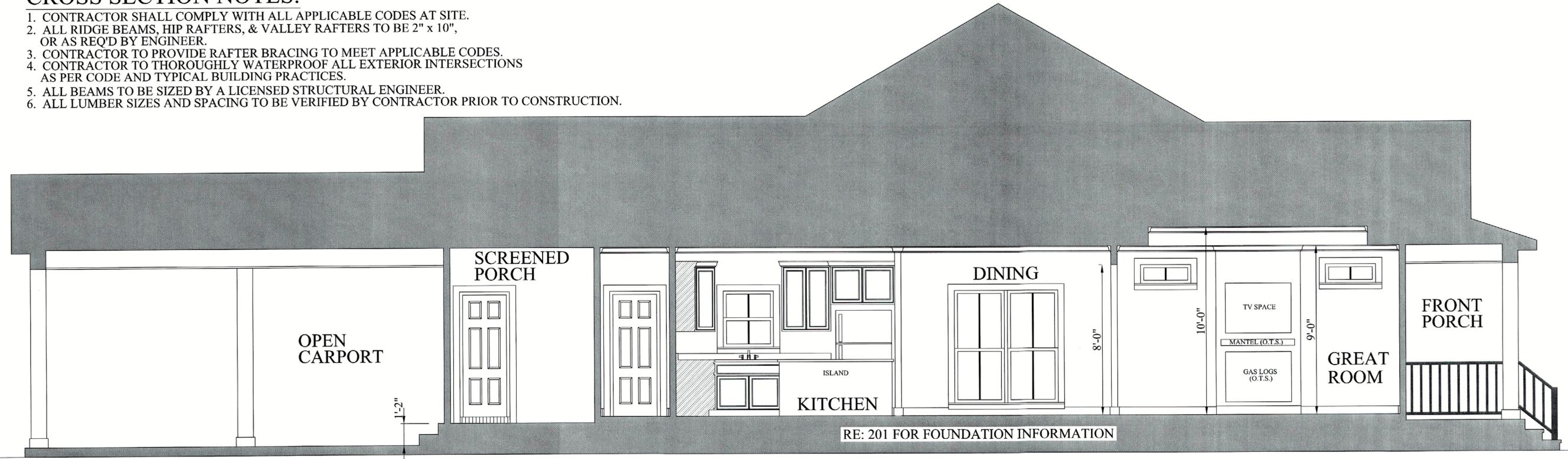
612 GREAT ROOM SCALE: 3/8" = 1'-0"



613 BATH 2 SCALE: 3/8" = 1'-0"

CROSS SECTION NOTES:

- 1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" x 10", OR AS REQ'D BY ENGINEER.
3. CONTRACTOR TO PROVIDE RAFTER BRACING TO MEET APPLICABLE CODES.
4. CONTRACTOR TO THOROUGHLY WATERPROOF ALL EXTERIOR INTERSECTIONS AS PER CODE AND TYPICAL BUILDING PRACTICES.
5. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
6. ALL LUMBER SIZES AND SPACING TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.



601 CROSS SECTION SCALE: 3/8" = 1'-0"

RE: 201 FOR FOUNDATION INFORMATION



# REQUEST

## DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

*See required Downtown Design attachment for more details.*

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

*See required Historic Zoning attachment for more details.*

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
      Site built     Modular     Multi-Sectional

*See required Infill Housing attachment for more details.*

Brief description of work: new house & site plan  
 \_\_\_\_\_  
 \_\_\_\_\_

## STAFF USE ONLY

**ATTACHMENTS**

- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

<b>FEE 1:</b>	250.00	<b>TOTAL:</b> \$250.00
<b>FEE 2:</b>		
<b>FEE 3:</b>		