



Date: 3/5/2020

Applicant: Gary Koontz

Address: 826 Watauga Ave.

District: Oakwood/Lincoln Park

Zoning: RN-2 / IH-1

File Number: 3-B-20-IH

Infill Housing Overlay Staff Comments & Recommendations

RECOMMENDATION

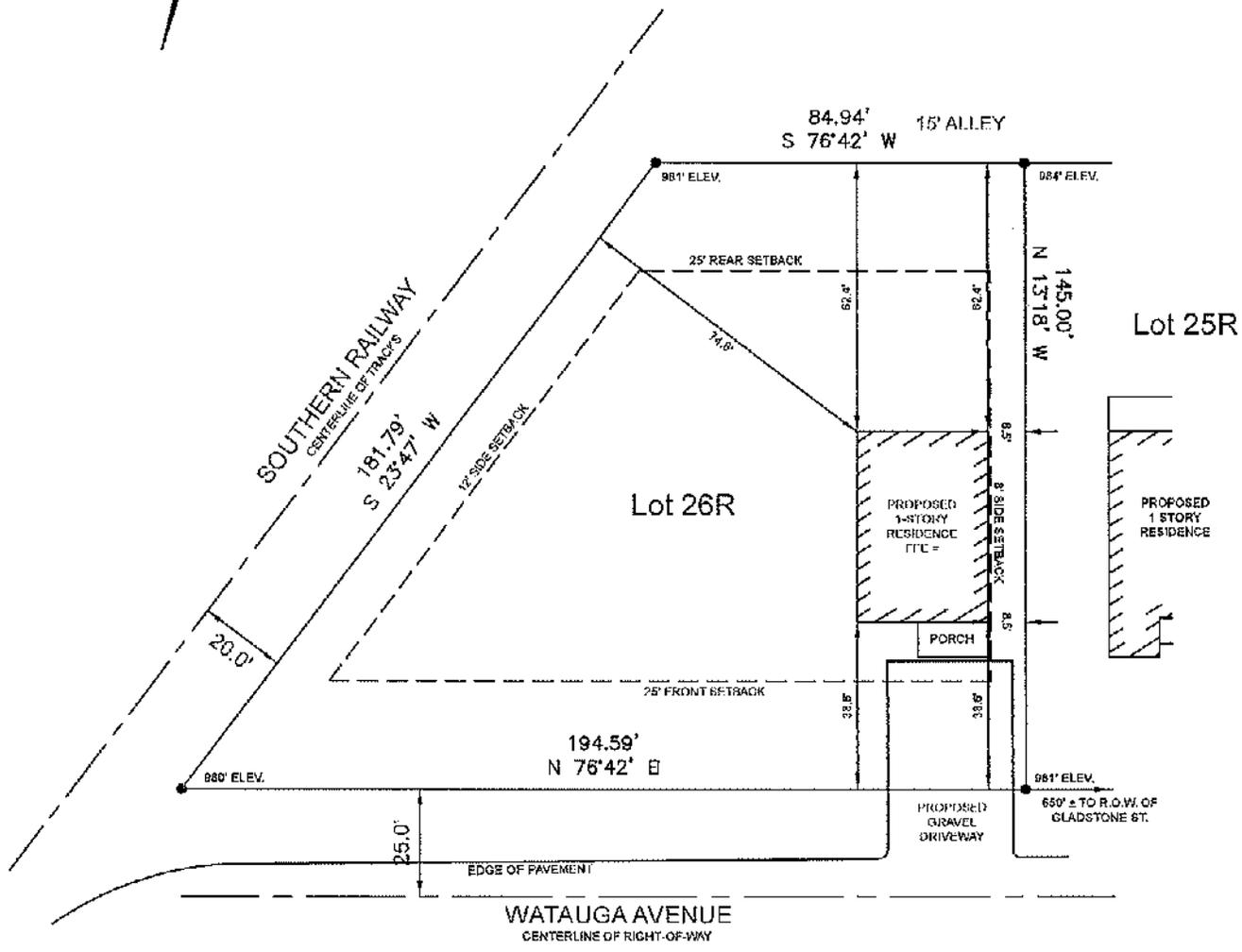
Staff recommends approval of the project with the following conditions:

1. Access should be from the alley since it is in working condition (p. 7).
2. Driveway and parking pad shall meet City of Knoxville Engineering Department requirements.
 - a. Parking pad shall be 18 ft x 20 ft.
 - b. If using a gravel surface, a minimum of 10-15 ft of asphalt or concrete is required to be installed from the street to keep gravel off of the alley, and landscape timbers must be installed along both sides of the driveway and around the parking pad to contain the gravel.
3. Parking pad should be screened with landscaping and/or fencing (p. 7).
4. A walkway should be installed from the front porch to the street to be consistent with other houses on the block (p. 5).
5. Utilize lap siding versus Dutch lap or horizontal panels to more closely resemble the exterior materials historically utilized in the neighborhood (p.13).
6. At least one tree should be retained (or planted) in the front and rear yards since the house is set back more than 25 ft from the street (p. 16).

COMMENTS

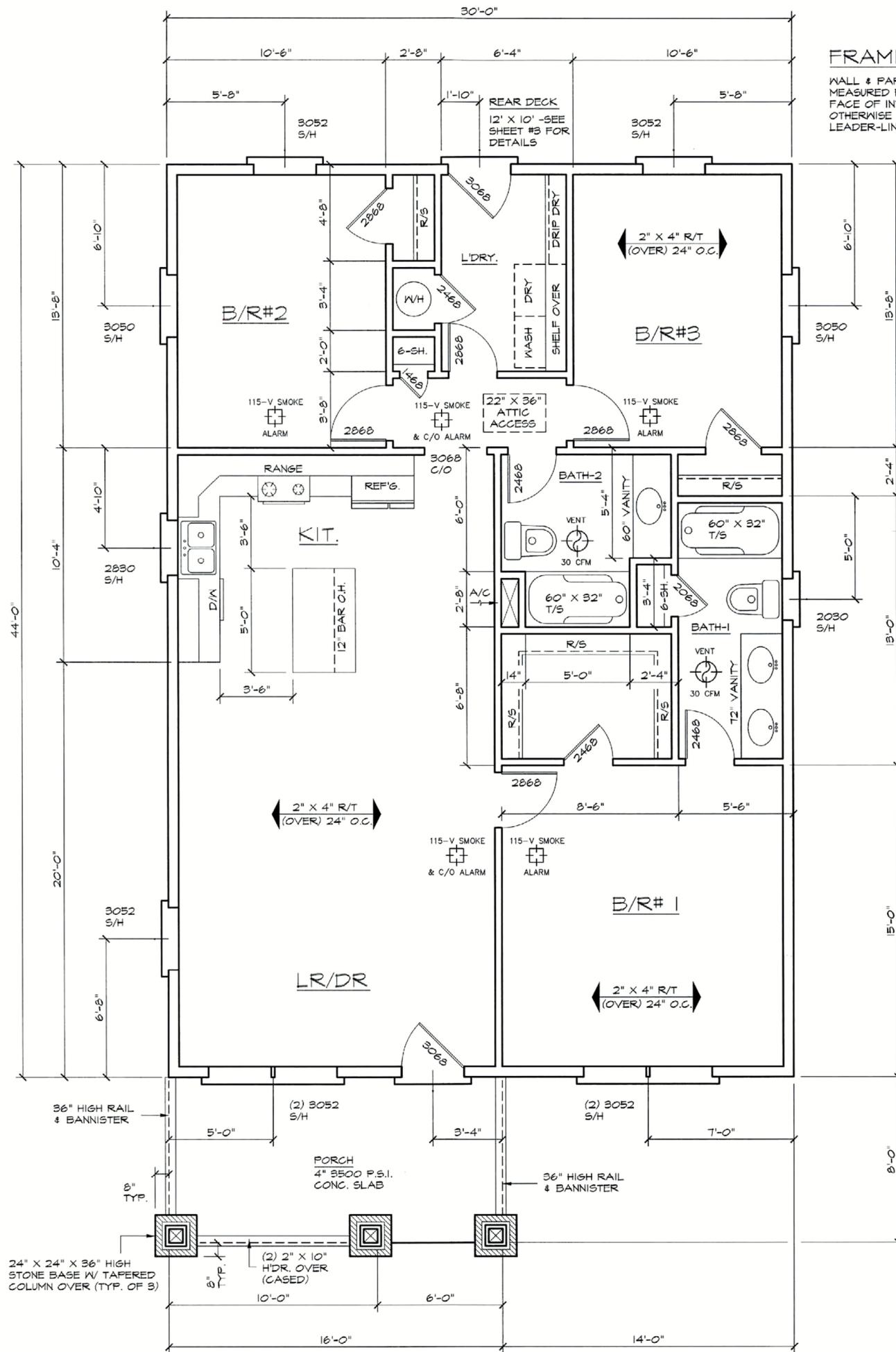
1. The alley behind this house is developed and should provide access. However, the alley is not at the same level as the rear yards along its length; it sits 2-3 feet higher than the rear lot line and would require infill to function properly. The Committee may wish to consider the option to allow driveway access off of Watauga Avenue. However, to make this allowance, staff would recommend the parking pad should still be at the rear of the lot, so the driveway would need to extend past the house from the front to the back.
2. Front and side setbacks proposed are consistent with other houses on the street. The nearest developed property to the west is set back 40 ft, while the front porch is set back 30 ft from the property line.
3. Neighboring houses on Watauga Avenue feature walkways connecting the front porch or stoop to the street.
4. Lap siding more closely resembles the exterior materials historically utilized in the neighborhood.
5. All other aspects of the proposed project are in compliance with Infill Housing Design Guidelines.
6. Historically, board and batten siding has not been used in these neighborhoods.
7. The site plan shows the correct orientation of the house; it is inverted from the floor plans and elevations, which show the front porch on the other side of the house.

SITE PLAN



THIS SITE PLAN DOES NOT CONSTITUTE AN OFFICIAL PLAT OR SURVEY. LOT DIMENSIONS ARE PER PLAT BEING REFERENCED HEREIN. ELEVATIONS ARE PER KNOX COUNTY TOPOGRAPHICAL DATA.

825 WATAUGA AVENUE LOT 26R - LINCOLN PARK RESUB. - BLOCK 5 PLAT 201912100039688 DIST. 7, WARD 18, CITY OF KNOXVILLE, KNOX COUNTY		OWNER/BUILDER - GARY KOONTZ SITE PLAN - JACOBS DIMENSIONS LLC		
JOB# 20200104	DRAWN: JPF	01/29/2020	SCALE: 1" = 40'	



FRAMING DIMENSIONS:

WALL & PARTITION FRAMING DIMENSIONS ARE MEASURED FROM OUTSIDE FRAMING LINE TO FACE OF INTERIOR STUDWALLS UNLESS SHOWN OTHERWISE - PLEASE OBSERVE DIMENSION LEADER-LINES VERY CAREFULLY

WALL BRACING

ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS WOOD STRUCTURAL PANEL (7/16" O.S.B. OR 1/2" EXTERIOR PLYWOOD) SHEATHING (2018 IRC TABLE #R602.10.4) & FASTENED AS REQ'D. BY #R602.3(B)

NOTE:

ALL EXTERIOR WALLS ARE 2" X 6", @ 24" O.C. W/ R-21 BATT INSULATION

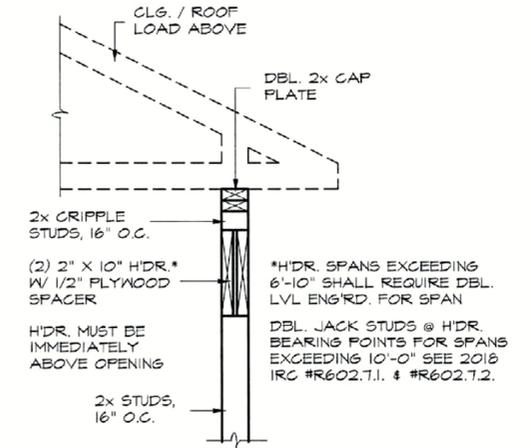
B'LDG. VENTILATION:

EXHAUST AIR (2018 IRC #M1505.4.1)
 115 V. BATH VENTS MUST BE 30-CFM MIN. - DUCTED DIRECT TO THE EXTERIOR BUILDING TOTAL MUST BE 60 CFM MIN.
SUPPLY AIR (2018 IRC #M1505.4.3)
 HVAC SYSTEM MUST PROVIDE 60-CFM MIN. FRESH AIR INTAKE TO RETURN AIR PLENUM EQUAL TO CAPACITY OF BATH EXHAUST VENTING
 MANUFACTURER, TYPE, MODEL NO. & SIZE OF ALL MECHANICAL HVAC, KITCHEN & WATER HEATER MUST BE ENTERED ON THE DESCRIPTION OF MATERIALS LIST - THE LAST SHEET OF EACH BLUEPRINT SET.

MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"
 9'-1"± FINISHED CEILING HEIGHT
 1320 SQ. FT. MAIN FLOOR LIVING AREA
 128 SQ. FT. COVERED FRONT PORCH AREA

NOTE:
 AREA CALCULATIONS ARE MEASURED FROM OUTSIDE FRAMING LINES (EXCLUSIVE OF BRICK OR STUCCO VENEER) VERIFY ONSITE BY ACTUAL CONSTRUCTION DIMENSIONS



WINDOW & DOOR HEADERS
 SCALE: 3/4" = 1'-0" 2018 IRC #R602.7.1 & 2

EGRESS WINDOWS:

BEDROOMS MUST HAVE (1) WINDOW RATED FOR EMERGENCY EGRESS WHICH PROVIDES A CLEAR OPENING OF 5.0 SQ. FT. (5.7 SQ. FT. @ SECOND FLOOR) & 44" MAX. SILL HGT. - MIN. NET CLEAR OPENING SHALL BE 20" WIDE - MIN. HGT. 24"
NOTE:
 VERIFY EGRESS RATINGS W/ WINDOW MFR. SPECIFICATIONS - SOME 3050 WINDOWS DO NOT PROVIDE ADEQUATE OPENING AREA
NOTE:
 WINDOWS LOCATED IN STAIRS, LANDINGS, BATHS & FOOT TRAFFIC AREAS WHERE THE SILL IS LESS THAN 18" FROM FINISHED FLOOR & WITH A SASH SIZE GREATER THAN 9.0 SQ.FT. SHALL REQUIRE USE OF TEMPERED GLASS
NOTE:
 WINDOW & DOOR SIZES NOTED ON FLOOR PLANS ARE GENERIC & ARE TO BE READ AS FEET & INCHES WIDTH BY FEET & INCHES HGT. (EX. 3050 D/H = 3'-0" WIDE X 5'-0" HIGH - D/H = DOUBLE HUNG)

NOTE:
 ALL MAIN FLOOR WINDOWS & DOORS SHALL BE ROUGHED IN @ 82-1/2" HEADER HEIGHT UNLESS NOTED OTHERWISE

NOTICE

THE DESIGNER OFFERS NO WARRANTY AS TO THE SUITABILITY OF THE DESIGN FOR ANY BUILDING SITE, NOR FOR THE ACCURACY OF DIMENSIONS OR SQUARE FOOTAGE CALCULATIONS AS CONSTRUCTED. ALL STRUCTURAL SPAN & LOAD CAPACITIES OF ENGINEERED AND PRE-MFD. COMPONENTS IS EXCLUDED. THE PLANS ARE DIAGRAMMATIC ONLY AND ARE DESIGNED STRICTLY AS A GENERAL GUIDE TO CONSTRUCTION. THE DRAWING EXHIBITS DO NOT GUARANTEE THE STRUCTURAL INTEGRITY OF FRAMING METHODS USED ONSITE. THE USER IS RESPONSIBLE IN TOTAL FOR ALL PHASES OF THE CONSTRUCTION PROJECT. LOCAL/REVISED BUILDING CODES AND AMENDMENTS SHALL SUPERCEDE.

Designed To 2018 IRC

2

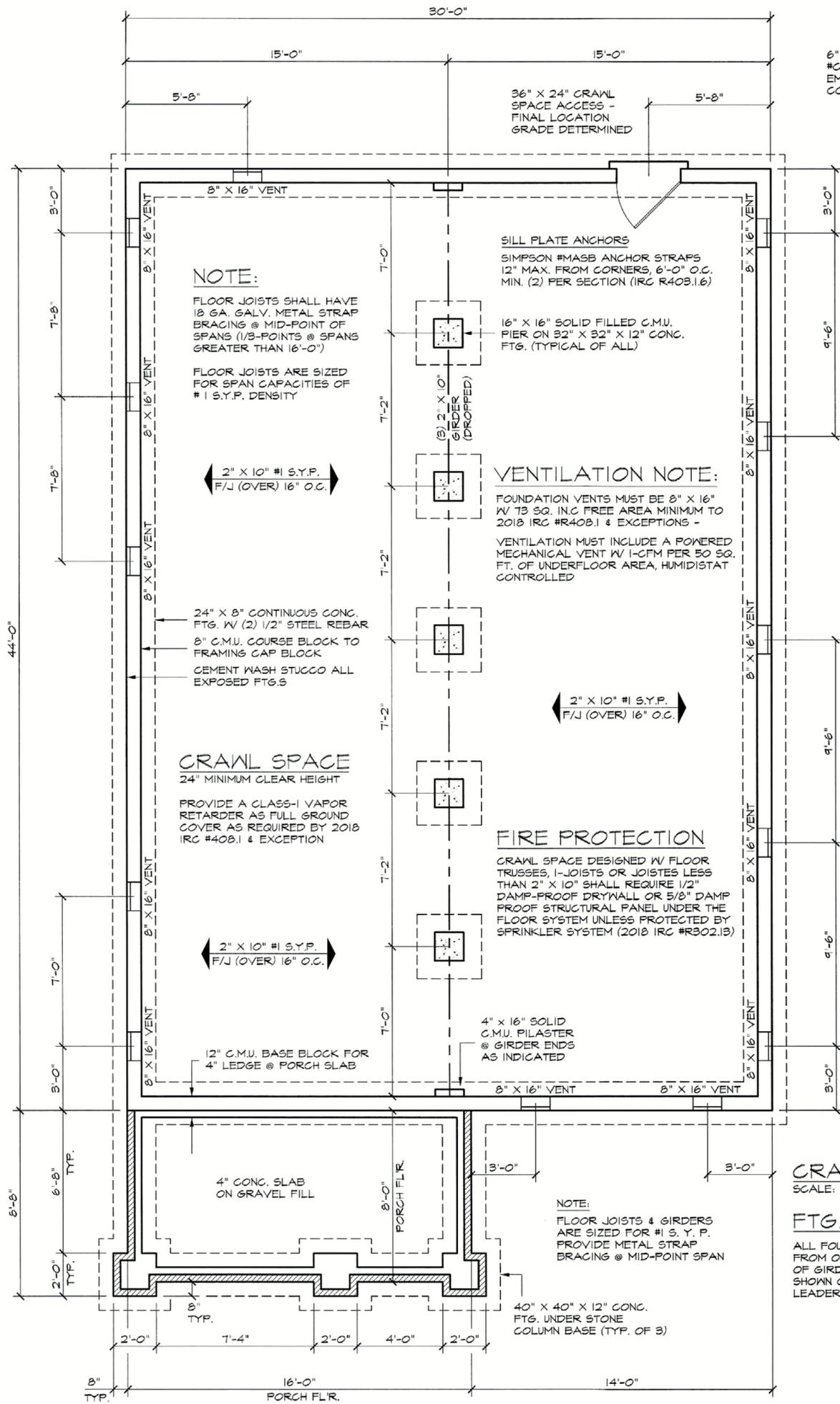
Sam R. Ensor

RESIDENTIAL DRAFTING SERVICE
 1311 Greenwell Drive, Knoxville, TN 37938
 Telephone 865-947-8951

PLAN NO.
19-0401

DATE: 04/11/2019

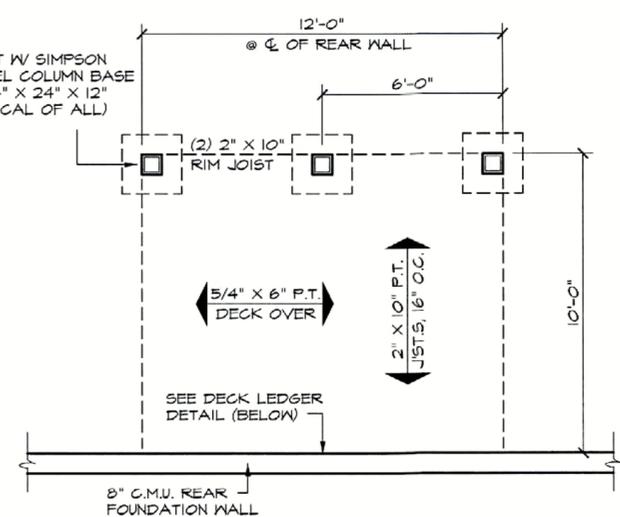
BY: S.R.E.



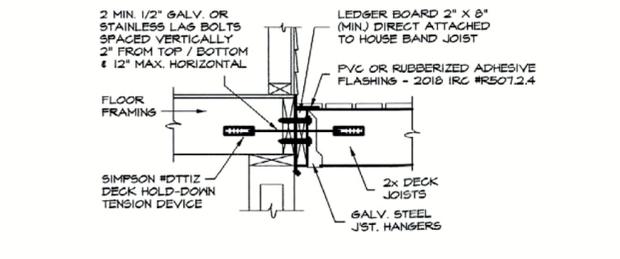
CRAWL SPACE FTG. PLAN
SCALE: 1/4" = 1'-0"

FTG. DIMENSIONS

ALL FOUNDATION DIMENSIONS ARE MEASURED FROM OUTSIDE EDGE OF SILL PLATES TO ϕ OF GIRDERS, WALLS, VENTS & OPENINGS UNLESS SHOWN OTHERWISE - PLEASE OBSERVE DIMENSION LEADER - LINES CAREFULLY



DECK DETAIL
SCALE: 3/4" = 1'-0"



DECK LEDGER BOARD SECTION
NO SCALE 2018 IRC #R507.1.3 (2) & #R507.1.2 (1)

PRE-M'FD. TRUSSES

PRE-M'FD. TRUSS COMPONENTS SHALL BE DESIGNED AND FABRICATED TO ACCOMMODATE ACTUAL ON-SITE MEASUREMENTS. THE MANUFACTURER SHALL MODIFY THE TRUSS SYSTEM AS NECESSARY.

ALL ENGINEERED TRUSS DOCUMENTS SHALL BE PROVIDED TO THE GENERAL CONTRACTOR AND SHALL BE ATTACHED TO THESE PLANS. THE MFR.'S SPECIFICATIONS SHALL SUPERCEDE THE GENERAL EXHIBITS INCLUDED IN THESE DRAWINGS.

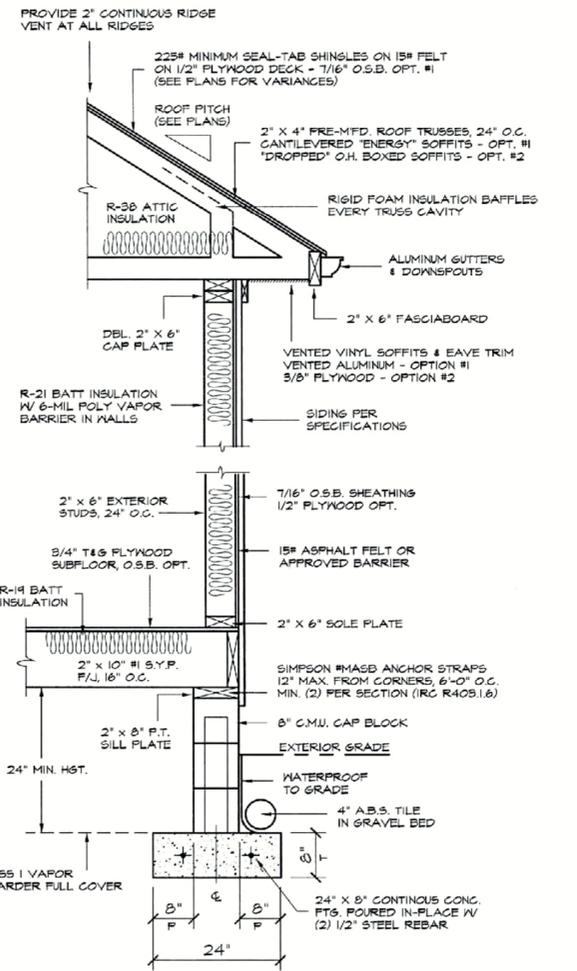
PRE-M'FD. COMPONENTS

THE SIZE, SPAN & LOAD-BEARING CAPACITIES OF PRE-M'FD. STRUCTURAL COMPONENTS SHALL BE ENGINEERED BY THE MANUFACTURER OR AUTHORIZED SUPPLIER & FABRICATED TO ACCOMMODATE ACTUAL ON-SITE MEASUREMENTS.

THE ENGINEERING SUPPLIER SHALL PROVIDE ALL NECESSARY INSTALLATION DOCUMENTS TO THE GENERAL CONTRACTOR & THESE DOCUMENTS SHALL BE ATTACHED TO THESE DRAWINGS.

NOTICE

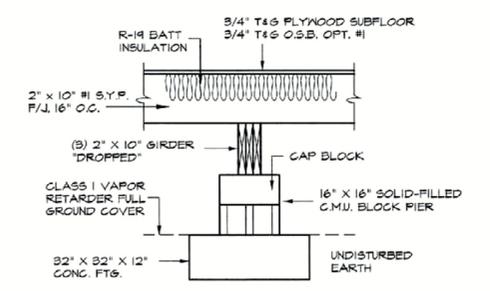
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TYPICAL WALL SECTION
NO SCALE 2018 IRC

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GIRDER @ PIER SECTION
NO SCALE

Designed To 2018 IRC

3

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REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: new house & site plan

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:	250.00	TOTAL: \$250.00
FEE 2:		
FEE 3:		