

Infill Housing Overlay Staff Comments & Recommendations

RECOMMENDATION

Staff recommends approval of the project with the following conditions:

1. Access shall be from the alley on streets which have alleys (p. 7).
2. Parking pad and driveway material shall comply with the City's Engineering Department requirements.
 - a. Parking pad shall be 18 ft x 20 ft.
 - b. If using a gravel surface, a minimum of 10-15 ft of asphalt or concrete is required to be installed from the street to keep gravel off of the alley, and landscape timbers must be installed along both sides of the driveway and around the parking pad to contain the gravel.
3. One native tree should be planted in the rear yard (p. 16).
4. Insert 1 or 2 windows on the rear façade to meet the solid-to-void requirement of the guidelines (p. 10).
5. Utilize lap siding versus Dutch lap or horizontal panels to more closely resemble the exterior materials historically utilized in the neighborhood (p.13).
6. Utilize shake siding or horizontal lap siding beneath both front gables, since vertical siding is not allowed (p. 13).

COMMENTS

1. Previous approval was granted by the Infill Housing Committee for this site plan and house (with slight revisions made for this meeting) at 1201 Connecticut Avenue in 2008. However, that approval allowed some items that are not in compliance with the Infill Housing Guidelines.
2. While the Infill Housing Committee approvals do not have an expiration date per se, according to the City of Knoxville Zoning Ordinance, and Tennessee State Law, as referred to in the clip from the zoning ordinance below, the project's vesting rights have expired and the development must be reviewed as a new application.
3. The front yard and side yard setbacks are consistent with the adjacent houses and others found on this street.

4. Front yard planting is provided. A native tree should be planted in the rear yard, too, per the guidelines.
5. The driveway does not meet the infill guidelines and should be off of the alley since it is in good working condition.
 - a. Moving the driveway to the rear yard would allow the project to comply with both the Infill Design Guidelines' requirement for alley access (when available), and the City Engineering Department's requirements for a parking pad.
 - b. Driveway access off the street is somewhat consistent with the rest of the houses on the block. However, these are properties that predate the Infill Design Guidelines, and parking in front of houses is one of the conditions the guidelines attempt to mitigate over time by requiring parking and access to be off of alleys.
6. The front porch size and setback are in compliance with Infill Guidelines.
7. Scale, massing and foundation height are consistent with other houses on the block.
8. The other houses on the block feature a mix of window grid styles. This would be the only house with a 3-over-1 grid, but due to the mix of styles already present, and the absence of a true architectural style for the proposed house, the window style would not appear out of character.
9. The roof material and design are in compliance with the Committee fts Guidelines.
10. Vertical siding is not allowed.

REFERENCE INFORMATION: CITY OF KNOXVILLE ZONING ORDINANCE REGARDING VESTING RIGHTS

City of Knoxville Zoning Ordinance, Article 15, Section 15.3 Vesting (relevant sections only):
In accordance with Tenn. Code Ann. § 13-4-310, the following provides for the vesting of developments through zoning applications.

A. *Subject to item C, a vested property right must be established upon the City fts approval of a preliminary development plan, a final development plan where no preliminary development plan is required by ordinance or regulation, or a building permit allowing construction of a building where there was no need for prior approval of a preliminary development plan for the property on which that building will be constructed. During the vesting period in item C, the City fts development standards in effect on the date of said approval remain the development standards applicable to that property or building during the vesting period in item C.*

B. *A vested property right is established with respect to any property upon the appropriate department fts:*

1. *Approval of a preliminary or final development plan for any of the following Districts: RP-1, RP-2, RP-3, SC- 1, SC-2, SC-3, PC-1, PC-2, BP-1, TND-1, or TC-1 Districts.*
2. *Approval regarding a project in the I-1 District.*
3. *Approval regarding a use on review.*
4. ***Approval of a certificate of appropriateness, when required.***
5. *Approval of a form district project.*
6. *Issuance of a site development permit.*
7. *Issuance of a written finding from the Director of Plans Review and Building Inspections that allowing a property right to remain vested is in the best interests of*

the community.

8. Any other approval or issuance specified in Tenn. Code Ann. § 13-4-310.

C. The applicable vesting periods are as follows:

1. For building permits...(n/a)

2. For approval of a preliminary development plan that does not progress in stages or phases, the initial vesting period is three years subject to the following:

a. The applicant must maintain all necessary permits during all vesting period(s) and any extension(s) in order to remain vested. During the initial vesting period, the applicant must obtain the City's approval of the final development plan and commence site preparation. If the applicant complies, then the vesting period will be extended an additional two years.

b. During the two year extension, the applicant must commence construction and, if commenced, the development standards in effect during the vesting period remain in effect until the City certifies final completion of the development or project.

c. **In no event will the total vesting period exceed ten years from the date of the approval of the preliminary development plan.** (emphasis added)

3. For approval of a preliminary development plan that progresses in two or more stages or phases...(n/a)

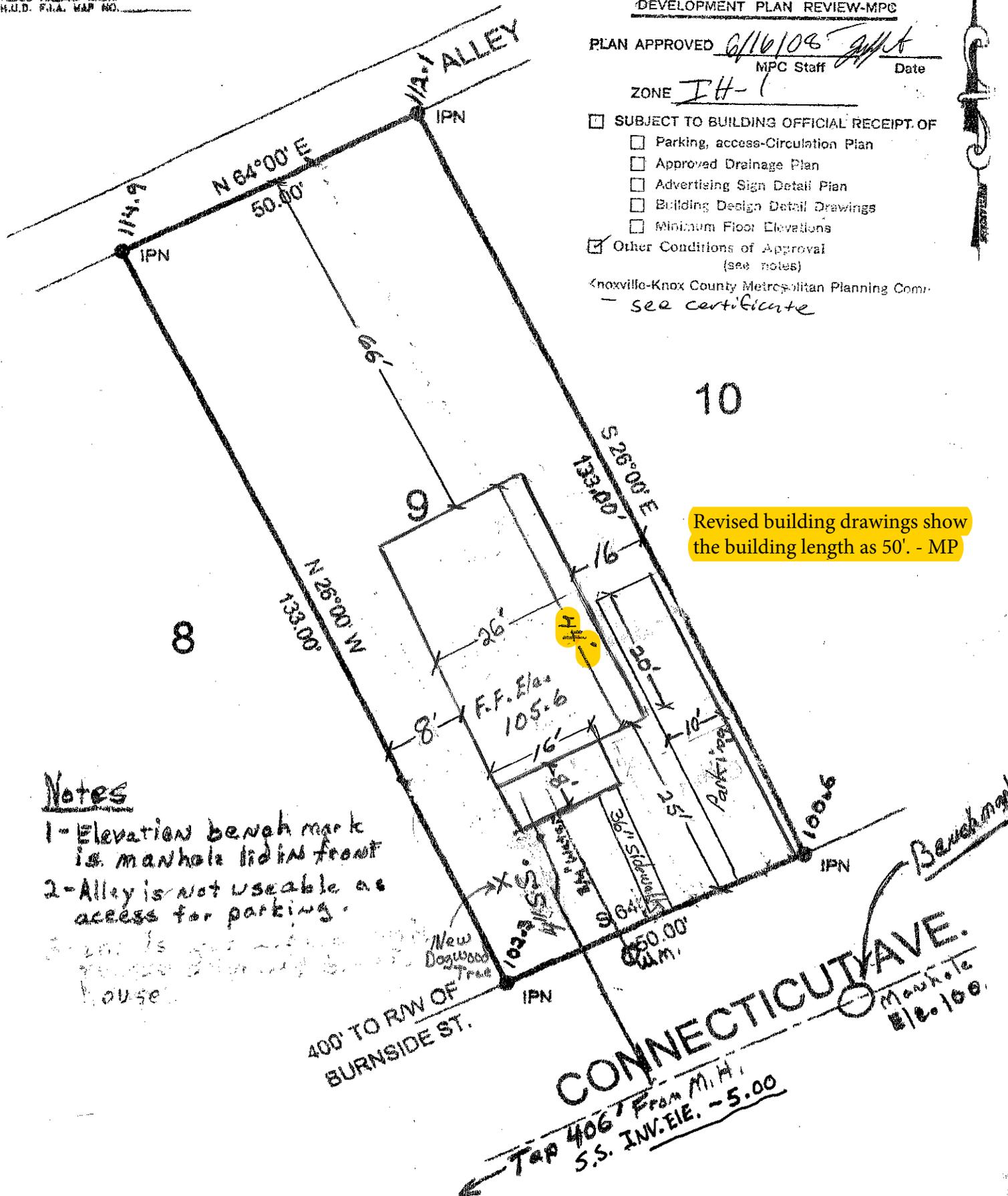
IN ACCORDANCE WITH H.U.D. F.I.A. FLOOD HAZARD BOUNDARY MAPS THIS PROPERTY IS NOT WITHIN A FLOOD HAZARD AREA. H.U.D. F.I.A. MAP NO. _____

DEVELOPMENT PLAN REVIEW-MPC

PLAN APPROVED 6/16/08 *[Signature]*
MPC Staff _____ Date _____

ZONE IH-1

- SUBJECT TO BUILDING OFFICIAL RECEIPT OF
- Parking, access-Circulation Plan
 - Approved Drainage Plan
 - Advertising Sign Detail Plan
 - Building Design Detail Drawings
 - Minimum Floor Elevations
 - Other Conditions of Approval (see notes)
- Knoxville-Knox County Metropolitan Planning Comm. - see certificate



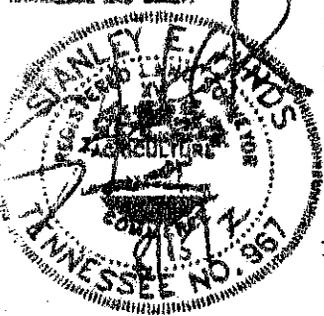
Notes

- 1- Elevation bench mark is manhole lid in front
- 2- Alley is not useable as access for parking.

House is on lot 8

CERTIFICATION OF CATEGORY AND ACCURACY OF ANALYSIS
I HEREBY CERTIFY THAT THIS CATEGORY I SURVEY AND THE RATE OF PRECISION OF THE UNDERSTATED SURVEY IS 1:10,000 AS SHOWN HEREON SURVEYOR STANLEY E. HINDS, TNSM REG. NO. 1827

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN MADE USING THE LATEST RECORDED DEED AND OTHER DOCUMENTS FURNISHED BY THE ATTORNEY, THAT THERE ARE NO ENCUMBRANCES OR PROJECTIONS OTHER THAN THOSE SHOWN AND THAT THE SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

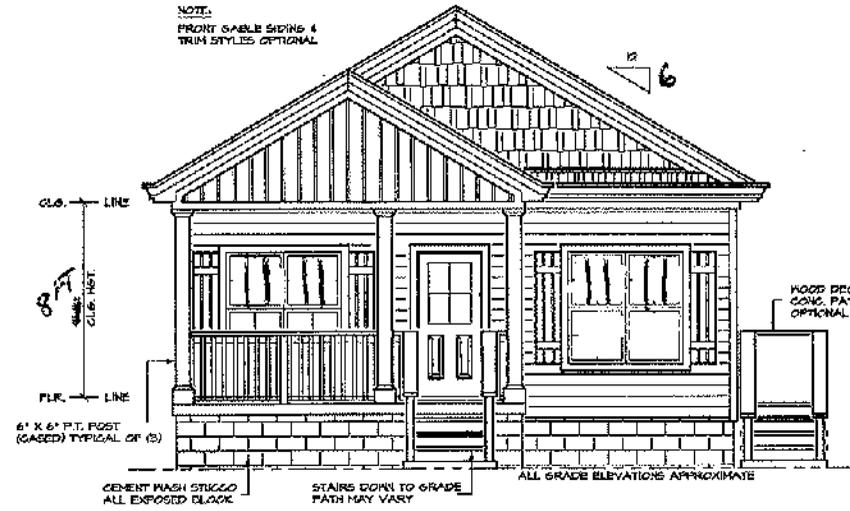
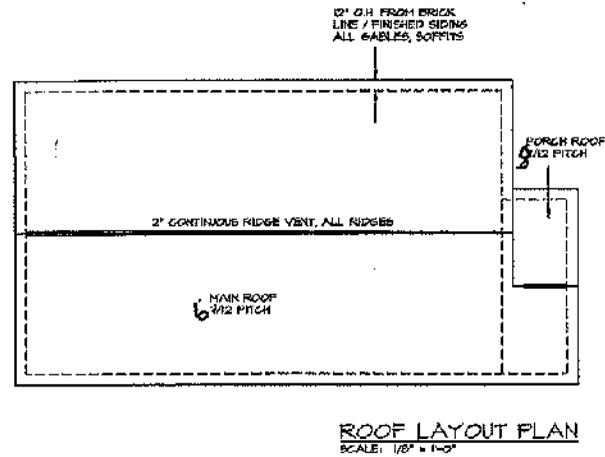


SURVEY FOR MONTY FAIRCHILD
 DIST. 5 WARD 19 CITY OF KNOXVILLE COUNTY KNOX
 ADDRESS 1201 CONNECTICUT AVE.
 LOT NO. 9 BLOCK 24 UNIT _____
 S/D LONSDALE LAND CO.
 PB 5 PAGE 183 SCALE 1" = 20' DATE 8-15 200
 JOB NO. 0708010 ORDERED BY: FTT

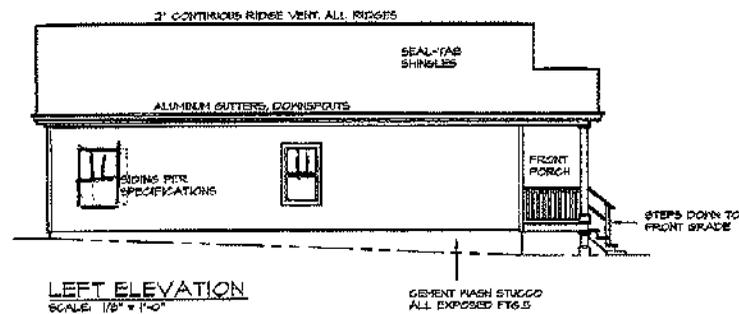
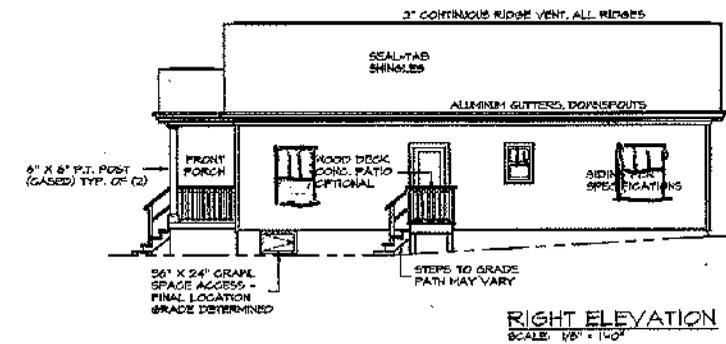
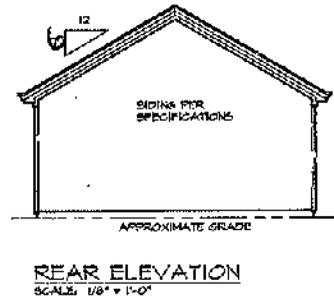
HINDS SURVEYING CO.
 3555 WINDY J FARMS DR. LOUISVILLE, TN 37777
 PH. 568-9799 FAX. 233-3393



Monty Fairchild
1201 Connecticut Ave



NOTE:
ALL WINDOW, DOOR, ACCESSORY & TRIM STYLES ARE
INDICATED FOR ILLUSTRATION ONLY AND ARE SUBJECT
TO APPROVAL/CHANGE BY GENERAL CONTRACTOR -
ALL SUCH CHANGES SHALL CONFORM TO APPLICABLE
LOCAL / STATE / NATIONAL BUILDING CODES



NOTICE

THE DESIGNER OFFERS NO WARRANTY AS TO THE SUITABILITY OF THE DESIGN FOR ANY BUILDING SITE, NOR FOR THE ACCURACY OF DIMENSIONS OR SQUARE FOOTAGE CALCULATIONS AS CONSTRUCTED. ALL STRUCTURAL SPAN & LOAD CAPACITIES OF ENGINEERED AND PRE-4RD. COMPONENTS IS INCLUDED. THE PLANS ARE DIAGNOSTIC ONLY AND ARE DESIGNED STRICTLY AS A GENERAL GUIDE TO CONSTRUCTION. THE DRAWING EXPERTS DO NOT GUARANTEE THE STRUCTURAL INTEGRITY OF FRAMED MEMBERS USED. THE USER IS RESPONSIBLE & TOTAL FOR ALL PHASES OF THE CONSTRUCTION PROJECT. LOCAL/REVISED BUILDING CODES AND AMENDMENTS SHALL SUPERSEDE.

Designed To 2018 IRC

Sam R. Ensor
RESIDENTIAL DRAFTING SERVICE
1311 Greenwell Drive, Knoxville TN 37938
Telephone: 865-947-8351

PLANNING
19-1203
DATE: 02/19/2024
BY: S.R.E.

EGRESS WINDOWS:

BEDROOMS MUST HAVE (1) WINDOW RATED FOR EMERGENCY EGRESS WHICH PROVIDES A CLEAR OPENING OF 5.0 SQ. FT. (BT 501 FT. @ SECOND FLOOR) & 44" MAX. SILL HGT. - MIN. NET CLEAR OPENING SHALL BE 20" WIDE x MIN. HGT. 24"

NOTE:
WINDOWS LOCATED IN STAIRS, LANDINGS, BATHS & FOOT TRAFFIC AREAS WHERE THE SILL IS LESS THAN 18" FROM FINISHED FLOOR & WITH A SASH SIZE GREATER THAN 9.0 SQ. FT. SHALL REQUIRE USE OF TEMPERED GLASS

NOTE:
WINDOW & DOOR SIZES NOTED ON FLOOR PLANS ARE GENERIC & ARE TO BE READ AS FEET & INCHES WITH BY FEET & INCHES HGT. (EX. 3050 D/H = 3'-0" WIDE X 5'-0" HIGH - D/H = DOUBLE HING)

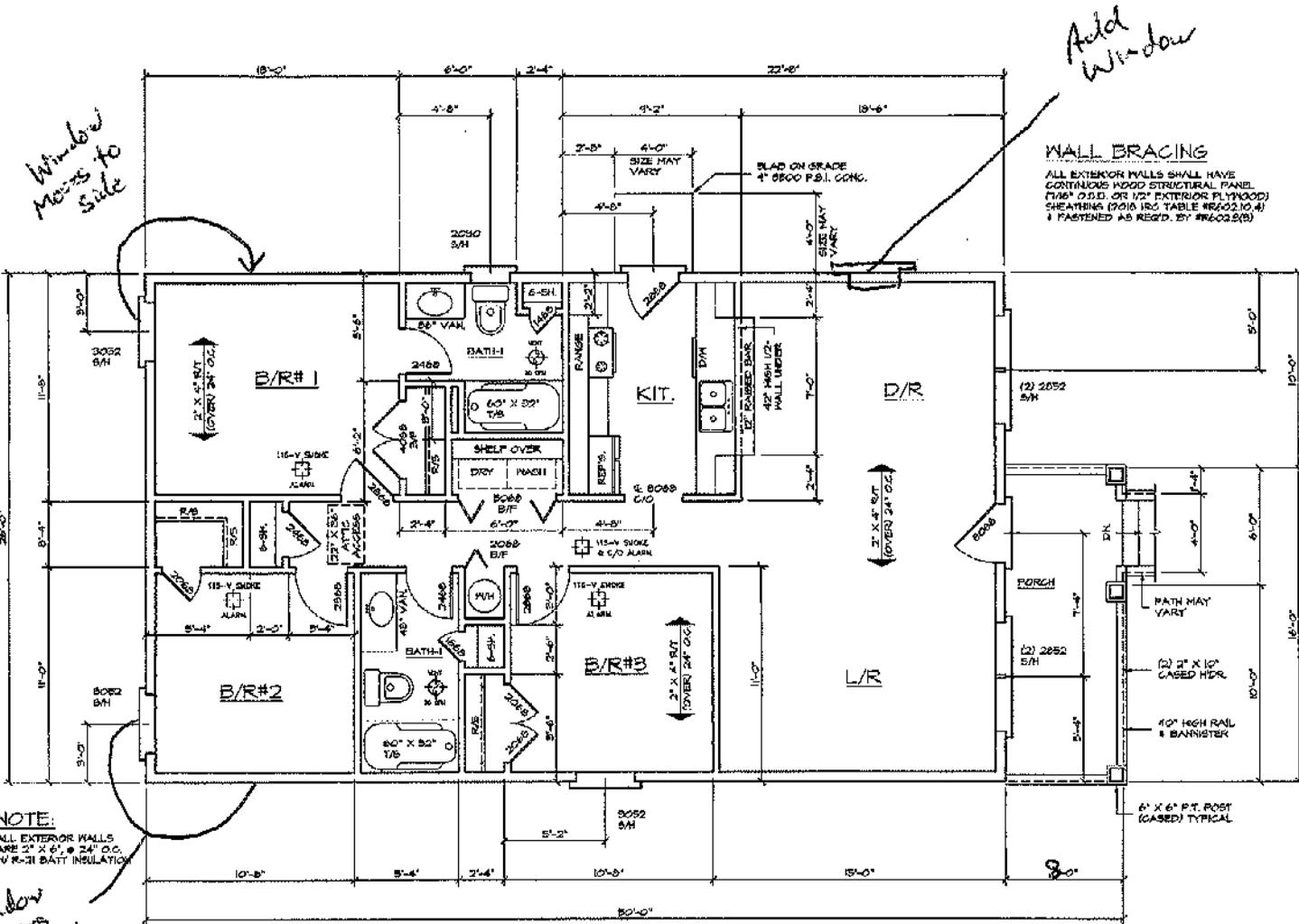
NOTE:
ALL MAIN FLOOR WINDOWS & DOORS SHALL BE ROUGHED IN @ 82 1/2" HEADER HEIGHT UNLESS NOTED OTHERWISE

B'LDG. VENTILATION:

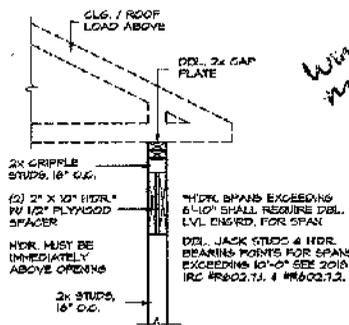
EXHAUST AIR (2018 IRC M1302.4.1)
115 V. BATH VENTS MUST BE 30-CFM MIN. - DUCTED DIRECT TO THE EXTERIOR BUILDING TOTAL MUST BE 60 CFM MIN.

SUPPLY AIR (2018 IRC M1302.4.3)
HVAC SYSTEM MUST PROVIDE 60-CFM MIN. FRESH AIR INTAKE TO RETURN AIR FLOWING EQUAL TO CAPACITY OF BATH EXHAUST VENTING

MANUFACTURER, TYPE, MODEL NO. & SIZE OF ALL MECHANICAL HVAC, KITCHEN & WATER HEATER MUST BE ENTERED ON THE DESCRIPTION OF MATERIALS LIST - THE LAST SHEET OF EACH BLUEPRINT SET.



NOTE:
ALL EXTERIOR WALLS ARE 2" X 6" @ 24" O.C. W/ R-21 BATT INSULATION



WINDOW & DOOR HEADERS
SCALE: 3/4" = 1'-0" 2018 IRC #602.11 & 2

MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

8'-4 1/2" FINISHED CEILING HEIGHT
1144 SQ. FT. MAIN FLOOR LIVING AREA
42 SQ. FT. FRONT PORCH AREA

NOTE:
AREA CALCULATIONS ARE MEASURED FROM OUTSIDE FRAMING LINES (EXCLUSIVE OF BRICK OR STUCCO VENEER) VERIFY ON-SITE BY ACTUAL CONSTRUCTION DIMENSIONS

FRAMING DIMENSIONS:

WALL & PARTITION FRAMING DIMENSIONS ARE MEASURED FROM OUTSIDE FRAMING LINE TO FACE OF INTERIOR STUDWALLS UNLESS SHOWN OTHERWISE - PLEASE OBSERVE DIMENSION LEADER-LINES VERY CAREFULLY

NOTICE

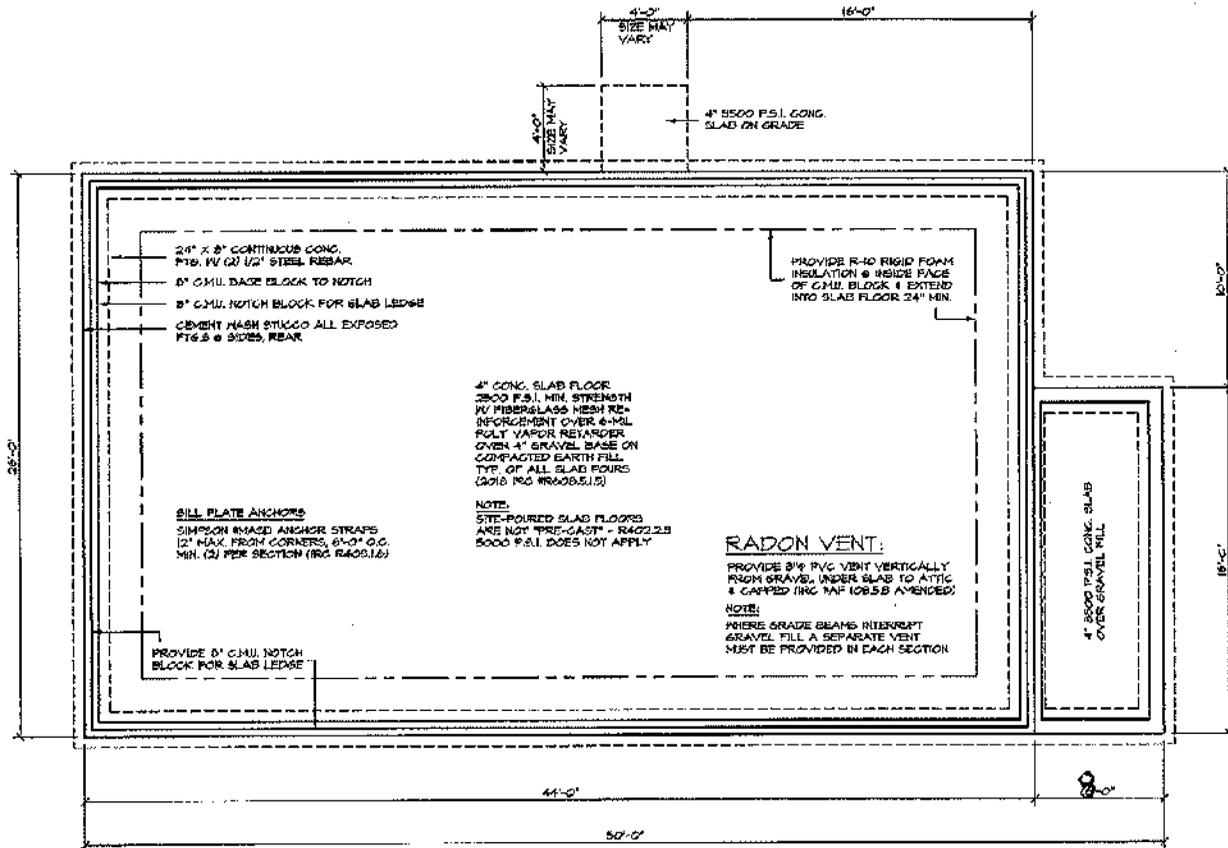
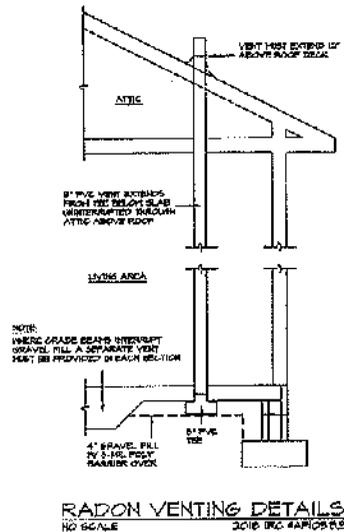
THE DESIGNER OFFERS NO WARRANTY AS TO THE SUITABILITY OF THE DESIGN FOR ANY BUILDING SITE, NOR FOR THE ACCURACY OF DIMENSIONS OR SQUARE FOOTAGE CALCULATIONS AS CONSTRUCTED. ALL STRUCTURAL SPAN & LOAD CAPACITIES (IF APPLICABLE) AND PRE-CAST COMPONENTS IS EXCLUDED. THE PLANS ARE DIAGNOSTIC ONLY AND ARE DECIDED STRICTLY AS A GENERAL GUIDE TO CONSTRUCTION. THE DRAWING EXPERTS DO NOT GUARANTEE THE STRUCTURAL INTEGRITY OF FRAMING METHODS USED ON-SITE. THE USER IS RESPONSIBLE IN TOTAL FOR ALL PHASES OF THE CONSTRUCTION PROJECT. LOCAL/PERMITS BLDG. CODES AND AMENDMENTS SHALL SUPERSEDE.

Designed To 2018 IRC

2

Sam R. Ensor
RESIDENTIAL DRAFTING SERVICE
1311 Greenwell Drive, Knoxville, TN 37908
Telephone: 865-947-8951

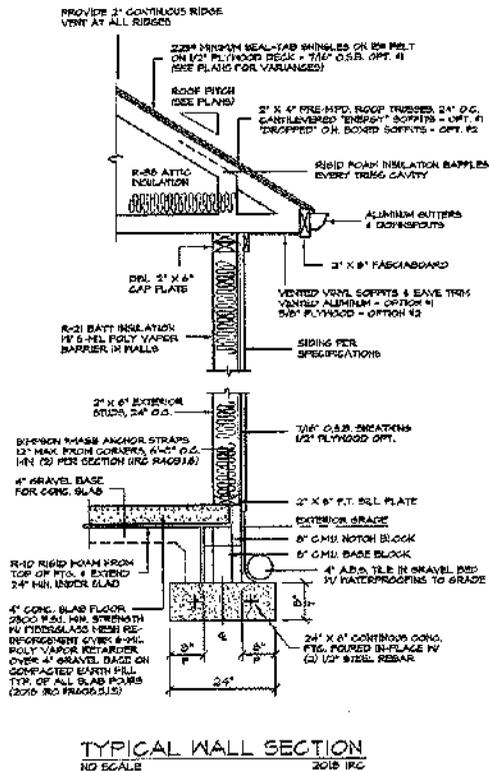
19-1203
DATE: 01/08/2020



***NOTE:**
EXTERIOR FOUNDATION WALLS BY EXPOSURE ABOVE GRADE OF 4'-0" OR GREATER SHALL HAVE SOLID-FILLED CELLS BY #4 STEEL REBAR FROM FTG. UP THROUGH WALL & INTO SLAB 4'-0" MINIMUM - SPACED 4'-0" O.C.

CONC. SLAB FTG. PLAN
SCALE: 1/4" = 1'-0"
SEE FOUNDATION CONSTRUCTION DETAIL IN TYPICAL WALL SECTION @ LEFT

FTG. DIMENSIONS
ALL FOUNDATION DIMENSIONS ARE MEASURED FROM OUTSIDE EDGE OF BILL PLATES TO 6" OF CHAIRS, WALLS, VENTS & OPENINGS UNLESS SHOWN OTHERWISE - PLEASE OBSERVE DIMENSION LEADER - LINES CAREFULLY



PRE-MFD. COMPONENTS

THE SIZE, SPAN & LOAD-BEARING CAPACITIES OF PRE-MFD. STRUCTURAL COMPONENTS SHALL BE ENGINEERED BY THE MANUFACTURER OR AUTHORIZED SUPPLIER, & FABRICATED TO ACCOMMODATE ACTUAL ON-SITE MEASUREMENTS.

THE ENGINEERING SUPPLIER SHALL PROVIDE ALL NECESSARY INSTALLATION DOCUMENTS TO THE GENERAL CONTRACTOR & THESE DOCUMENTS SHALL BE ATTACHED TO THESE DRAWINGS.

PRE-MFD. TRUSSES

PRE-MFD. TRUSS COMPONENTS SHALL BE DESIGNED AND FABRICATED TO ACCOMMODATE ACTUAL ON-SITE MEASUREMENTS. THE MANUFACTURER SHALL MODIFY THE TRUSS SYSTEM AS NECESSARY.

ALL ENGINEERED TRUSS DOCUMENTS SHALL BE PROVIDED TO THE GENERAL CONTRACTOR AND SHALL BE ATTACHED TO THESE PLANS. THE MFR'S SPECIFICATIONS SHALL SUPERCEDE THE GENERAL EXHIBITS INCLUDED IN THESE DRAWINGS.

NOTICE

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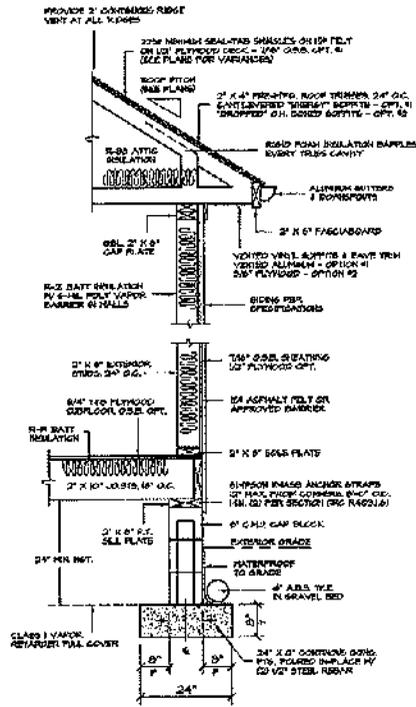
Designed To 2018 IRC

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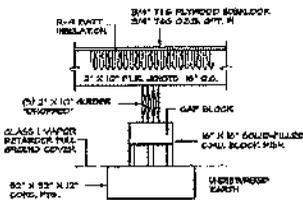
Sam R. Ensor

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1311 Greenwell Drive, Knoxville, TN 37938
Telephone 865-947-8951

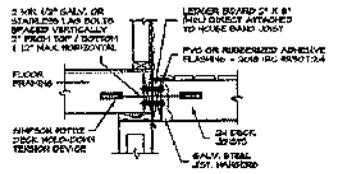
19-1203
DATE: 12/17/2018
BY: [Signature]



TYPICAL WALL SECTION
NO SCALE 2018 FIG



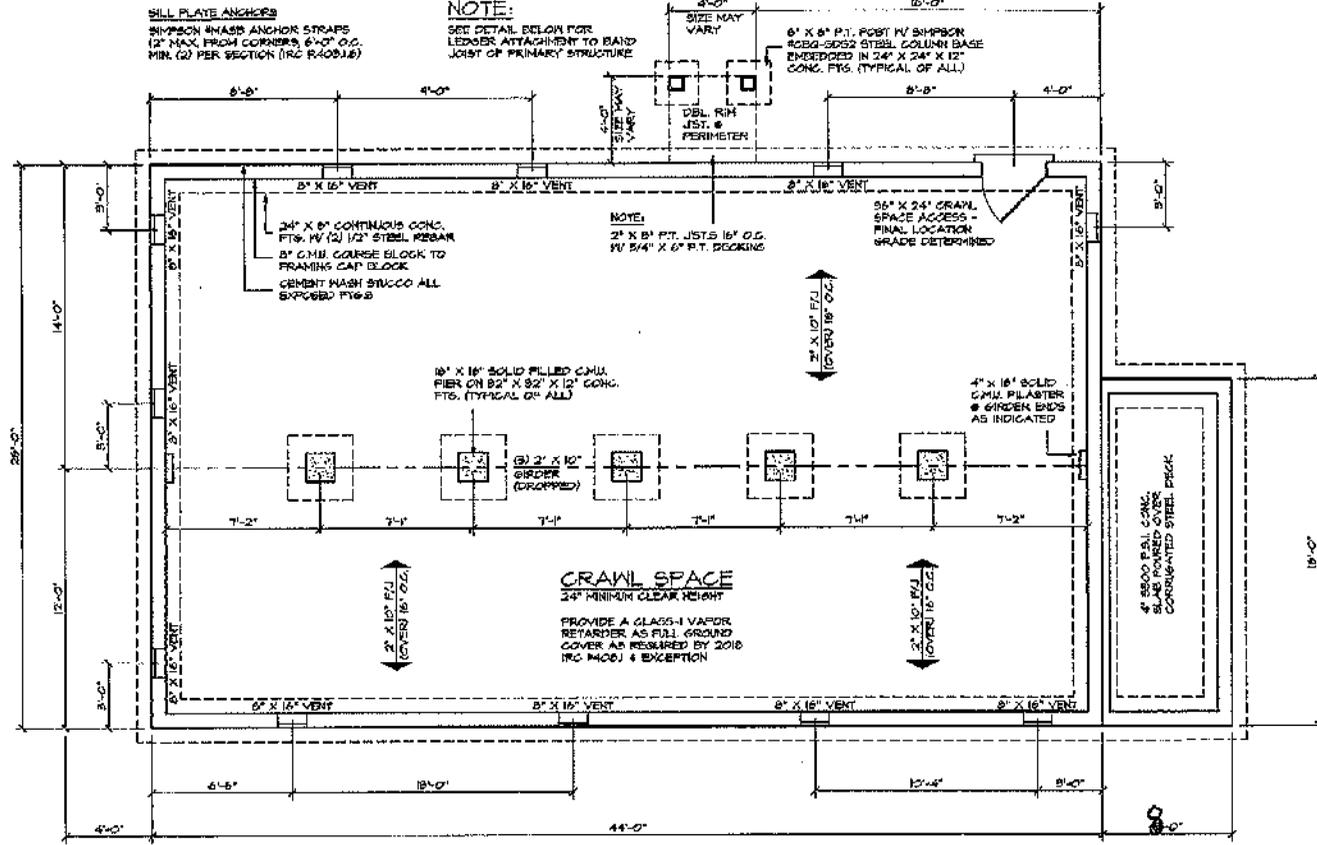
GIRDER @ PIER SECTION
NO SCALE



DECK LEDGER BOARD SECTION
NO SCALE 2018 IRC R502.4.1.3 (2) # R502.4.1 (1)

SILL PLATE ANCHORS
SIMPSON #4 MASS ANCHOR STRAPS
(2" MAX. FROM CORNERS, 6'-0" O.C.
MIN. (2) PER SECTION (IRC R402.1.6))

NOTE:
SEE DETAIL BELOW FOR
LEDGER ATTACHMENT TO BAND
JOIST OF PRIMARY STRUCTURE



UNDERFLOOR VENTS
FOUNDATION VENTS MUST BE 2" X 16" W/ 1/8" TO 3/8" IN. FREE AREA MIN. AS REQUIRED BY 2018 IRC R403.1 & EXCEPTIONS -
UNDERFLOOR VENTILATION MUST INCLUDE A POWERED MECHANICAL VENT W/ 1 CFM PER 50 SQ. FT. OF UNDERFLOOR AREA. CONTROLLED BY A HUMIDISTAT

FIRE PROTECTION
CRAWL SPACES USED FOR STORAGE, OR INSTALLED GAS OR ELECTRIC APPLIANCES DESIGNED W/ FLOOR TRUSSES, HUMIDISTS OR JOISTS LESS THAN 2" X 10" SHALL REQUIRE 1/2" DAMP-PROOF DRYWALL OR 5/8" DAMP-PROOF STRUCTURAL PANELS UNDER THE FLOOR SYSTEM UNLESS PROTECTED BY A SPRINKLER SYSTEM (2018 IRC R403.2.4)

CRAWL SPACE FTG. PLAN
SCALE: 1/4" = 1'-0"
SEE FOUNDATION CONSTRUCTION DETAIL IN TYPICAL WALL SECTION @ LEFT

FTG. DIMENSIONS
ALL FOUNDATION DIMENSIONS ARE MEASURED FROM OUTSIDE EDGE OF SILL PLATES TO C. OF GIRDERS, WALLS, VENTS & OPENINGS UNLESS SHOWN OTHERWISE - PLEASE OBSERVE DIMENSION LEADER - LINE CAREFULLY

PRE-MFD. TRUSSES
PRE-MFD. TRUSS COMPONENTS SHALL BE DESIGNED AND FABRICATED TO ACCOMMODATE ACTUAL ON-SITE MEASUREMENTS. THE MANUFACTURER SHALL NOTIFY THE TRUSS SYSTEM AS NECESSARY.
ALL ENGINEERED TRUSS DOCUMENTS SHALL BE PROVIDED TO THE GENERAL CONTRACTOR AND SHALL BE ATTACHED TO THESE PLANS. THE MFR'S SPECIFICATIONS SHALL SUPERSEDE THE GENERAL EXHIBITS INCLUDED IN THESE DRAWINGS.

PRE-MFD. COMPONENTS
THE SIZE, SPAN & LOAD-BEARING CAPACITIES OF PRE-MFD. STRUCTURAL COMPONENTS SHALL BE ENGINEERED BY THE MANUFACTURER OR AUTHORIZED SUPPLIER & FABRICATED TO ACCOMMODATE ACTUAL ON-SITE MEASUREMENTS.
THE ENGINEERING SUPPLIER SHALL PROVIDE ALL NECESSARY INSTALLATION DOCUMENTS TO THE GENERAL CONTRACTOR & THESE DOCUMENTS SHALL BE ATTACHED TO THESE DRAWINGS.

NOTICE
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Designed To 2018 IRC

Sam R. Ensor
RESIDENTIAL DRAFTING SERVICE
1311 Greenwell Drive, Knoxville, TN 37938
Telephone 865-247-3661

PLAN NO.	19-1203
MFR. CONSTRUCTION DETAILS	
DATE	12/15/2024
BY	SAE

DESCRIPTION OF MATERIALS

Proposed Construction, Job Construction, Property Address, City, State, Mortgage or Special, Contractor or Subcontractor

INSTRUCTIONS

- 1. This is a standard form of I.C. Form 4000... 2. Describe all materials and conditions... 3. Work not specifically described... 4. Include a schedule of work... 5. The contractor and/or subcontractor...

1. EXCAVATIONS: Being set type, SOIL CLAY, 2000 P.S.F. ... 2. FOUNDATIONS: Footing concrete, READY MIX, strength of 3000... Foundation wall, CMU BLOCK...

3. CHIMNEYS: Material, CMU BLOCK & BRICK, finished (see sec 10) ... 4. FIREPLACES: (see PLANS) Type, gas-burner, gas-burning, electric (make & size) ...

5. EXTERIOR WALLS: Wood trim, wood grade & species, 2x4 PINE, color, natural, 8 1/2" x 4" ...

6. FLOOR FRAMING: Joist, wood, grade & species, 2x10 PINE, other, LVL, spacing, 24" on center ...

7. SUBFLOORING: Material, grade & species, 3/4" x 12" x 6" PLYWOOD, type, RESILIENT GRADE ...

8. FINISH FLOORING: (Must only describe other finish flooring under THIS PLAN) ...

DESCRIPTION OF MATERIALS

9. PARTITION FRAMING: Stud, wood, grade & species, 2x4 PINE, size & spacing, 2' x 4' @ 16" O.C. ...

10. CEILING FRAMING: Joist, wood, grade & species, 2x4 PINE, other, LVL BEAMS, spacing, 24" P.C. ...

11. ROOF FRAMING: Rafter, wood, grade & species, 2x10 PINE, heel, wood, grade & species, 2x10 PINE ...

12. ROOFING: Sheathing, wood, grade & species, 5/8" PLYWOOD, type, 1/2" spaced, 1/2" on center ...

13. GUTTERS AND DOWNSPOUTS: Gutter, material, ALUM, type, 2" x 4" ...

14. LATH AND PLASTER: Lath, type, MESH, weight or thickness, 1/2" ...

15. DRIBBLING: (Paint, wallpaper, etc.)

16. INTERIOR DOORS AND TRIM: Door, type, SOLID CORE, material, 1 3/4" x 2 1/4" x 5 1/2" ...

17. WINDOWS: Window, type, CAS, material, VINYL, color, natural, 2 1/2" x 5 1/2" ...

18. ENCLINERS AND EXTERIOR DETAIL: Main entrance door, material, STEEL, with, 36" x 80" ...

19. CABINETS AND INTERIOR DETAIL: Kitchen cabinets, wall units, material, 1/2" x 1/2" x 1/2" ...

20. STAIRS: (Table with columns for Rise, Run, etc.)

DESCRIPTION OF MATERIALS

21. SPECIAL FLOORS AND WAREHOY: (Table with columns for Location, Material, etc.)

Table with 4 columns: Location, Material, Finish, Notes. Rows include Kitchen, Bath, Entry, etc.

22. PLUMBING: (Table with columns for Fixture, Material, etc.)

Table with 4 columns: Fixture, Material, Finish, Notes. Rows include Sink, Shower, Toilet, etc.

23. HEATING: (Table with columns for System, Material, etc.)

24. ELECTRICAL WIRING: Service, overhead, underground, 100 amp, 240 volt, 3 phase, 4 wire ...

25. LIGHTING FIXTURES: Total no. of fixtures, 10, type, recessed, 4" diameter, 100 watt ...

DESCRIPTION OF MATERIALS

26. INSULATION: (Table with columns for Location, Material, etc.)

Table with 4 columns: Location, Material, Finish, Notes. Rows include Roof, Ceiling, Floor, etc.

27. MISCELLANEOUS: (Table with columns for Item, Material, etc.)

Table with 4 columns: Item, Material, Finish, Notes. Rows include Kitchen Appliances, etc.

28. GARAGES: (Table with columns for Location, Material, etc.)

29. WALKS AND DRIVEWAYS: (Table with columns for Location, Material, etc.)

30. LANDSCAPING, PLANTING, AND FINISH GRADING: (Table with columns for Location, Material, etc.)

FHA/VA DESCRIPTION OF MATERIALS LIST



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INEILL HOUSING (IH)

Applicant Monty H. Fairchild

Date Filed 12/18/2019 Meeting Date (if applicable) 1/2/2020 File Number(s) 1-A-20-IH

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Name Monty H Fairchild Company _____

Address 6815 Washington Pike City Knoxville TN State _____ Zip 37918

Phone 865 687-8178 Email Monty.740@comcast.net

CURRENT PROPERTY INFO

Owner Name (if different from applicant) _____ Owner Address _____ Owner Phone _____

Property Address 1201 Connecticut Ave. Parcel ID 081 I K 032

Neighborhood Lonsdale Zoning R-1A/IH-1 (RH-2 after Jan 1 w/ IH overlay)

AUTHORIZATION

Staff Signature [Signature] Please Print Michelle Portier Date 12/10/2019

Applicant Signature Monty H. Fairchild Please Print Monty H. Fairchild Date 18 Dec 19

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions Alteration of ~~plans~~ ^{previously approved plans}

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: Revised plans -- roof would be dimensional shingles (vs. 3-tab shingles approved) & windows would be 3-over-1 panes (vs. 6-over-1 panes approved.)

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

50.00

TOTAL:

FEE 2:

FEE 3:



Suite 403 • City County Building
 400 Main Street
 Knoxville, Tennessee 37902
 865 • 215 • 2500
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Knoxville/Knox County Metropolitan Planning Commission

**CERTIFICATE OF APPROPRIATENESS
 FOR INFILL HOUSING**

File No.: 6-13-08-IH

DEVELOPMENT PLAN REVIEW MPC

A Certificate of Appropriateness is hereby granted for the following property by the Metropolitan Planning Commission:

PLAN APPROVED [Signature] 6/16/08
 MPC Staff Date

Address of Property: 1201 Connecticut Ave

ZONE IH-1

District:

SUBJECT TO BUILDING OFFICIAL RECEIPT OF:

Name of Owner: Monty Fairchild

- Parking, access-Circulation Plan
- Approved Drainage Plan
- Advertising Sign Detail Plan
- Building Design Detail Drawings
- Minimum Floor Elevations

Name of Applicant: Monty Fairchild

Other Conditions of Approval
 (see notes) see approved plans for more data

Description of Work:

Architectural Building Elevations - The proposed house will have 5/12 roof pitch, vinyl siding, an exposed foundation (as seen from Connecticut) with a minimum of 2' exposed foundation and a maximum of 4' exposed foundation. The finished floor elevation shall be 105.6'. The exposed foundation shall be treated with a stucco surface. The front porch is located to the left portion of the front facade and is 8' deep and 16' wide. The roof over the porch and structure has a gable, as seen from Connecticut Avenue. The front door and a window measuring 36" X 48" is on the portion of the house with the porch. On the right side of the front facade (non porch area) is a 72" X 48" window. The windows shall have a grill pattern on the top sash and no grills on the bottom.

Plot Plan - A driveway off the front shall be established and shall extend 20' behind the front habitable portion of the house. The side yard shall be adjusted to 8' on the non driveway side and 16' on the driveway side. The front yard setback shall be 25'. The finished floor elevation shall be 105.6 feet with a maximum of 4' of exposed foundation on the front of the house, facing Connecticut Avenue. A tree shall be planted in the front yard. A private walkway will extend from the front porch steps that face the street and will run straight to the property line.

All dimensions above are from the submitted application and included as part of the Certificate of Appropriateness. The applicant is expected to build according to these approved plans.

THIS CERTIFICATE IS NOT A BUILDING PERMIT

Approved by: Jeff Archer

Date: 6/16/2008

Please note, applicant must post yellow MPC Certificate of Appropriateness for Infill Housing sign until 7/1/2008. If MPC does not receive any appeals of the decision during that time, the applicant can proceed with obtaining permits.